



THE CORPORATION OF THE TOWNSHIP OF WAINFLEET

REGULAR MEETING OF COUNCIL AGENDA

DECEMBER 13, 2022 – 6:00 P.M.

*(Time adjusted for this meeting only
Regular business to resume at 7:00 p.m.)*

COUNCIL CHAMBERS

C23/22

- 1. Call to Order**
- 2. Closed Session**
 - a) Item under Section 239 (2)(d) of the Municipal Act, 2001, Labour relations or employee negotiations– 1 item (A negotiation update)
- 3. Rise & Report**
- 4. National Anthem**
- 5. Land Acknowledgement Statement**
- 6. Disclosures of Interest and the General Nature Thereof**
- 7. Presentations**
 - a) Zach VandeBeld and Emmy Wainwright – 2022 Holiday Card Contest Winners
- 8. Mayor's Announcements & Remarks**
- 9. Councillor's Announcements & Remarks**
- 10. Adoption of Previous Council Minutes**
 - a) Minutes of the Inaugural meeting of Council held November 22, 2022
- 11. Public Meeting**
 - a) Z01/2022W – Township Initiated Housekeeping Amendment
 - b) Z06/2022W – Township Initiated Amendment re: Hamlet Lot Coverage
- 12. Delegations**

13. Staff Reports & Recommendations**a) Administrative Staff Reports**

- i. ASR-021/2022 Re: Borrowing for Current Expenditures
- ii. ASR-022/2022 Re: Interim Tax Levy
- iii. ASR-023/2022 Re: Cancellation, reduction or refund of Property Tax for the Taxation Years 2020-2022
- iv. ASR-024/2022 Re: 2022 Municipal and School Board Election-Accessibility Report
- v. ASR-025/2022 Re: 2023 Council Meeting Schedule
- vi. ASR-026/2022 Re: Committee Composition for the 2022-2026 Term
- vii. Memorandum Re: Bill 39 - Better Municipal Governance Act, 2022

b) Community and Development Services

- i. CDS-004/2022 Re: Bill 23 - More Homes Built Faster Act, 2022

c) Fire and Emergency Services

- i. FSR-010/2022 Re: WFES Third Quarter Review
- ii. Memorandum Re: Bunker Gear

d) Public Works

- PWSR-017/2022 Re: 2022 Municipal Bridge/Culvert Inspection

14. Review of Correspondence

- a) C-2022-231 – Crime Stoppers Niagara Re: Request to proclaim January 2023 as Crime Stoppers Month
- b) C-2022-232 – DSBN AND NCDSB Re: Request for temporary land use

15. By-laws

- a) By-law No. 047-2022 Being a by-law to authorize borrowing from time to time to meet current expenditures during the fiscal year ending December 31, 2023.

- b) By-law No. 048-2022 Being a by-law to provide for interim tax levies for the year 2023 for the Township of Wainfleet.

16. Notices of Motion

17. Closed Meeting

- a) Item under Section 239 (2)(e) of the Municipal Act, 2001, Litigation or potential litigation including matters before administrative tribunals– 1 item (An Ontario Land Tribunal matter)

18. Rise & Report

19. By-law to Confirm the Proceedings of Council

- a) By-law No. 049-2022 being a by-law to adopt, ratify and confirm the actions of the Council at its regular meeting held on December 13, 2022.

20. Adjournment

Congratulations to our 2022 Christmas Card Contest Winners!



Zach VandeBeld



Emmy Wainwright



THE CORPORATION OF THE TOWNSHIP OF WAINFLEET INAUGURAL MEETING OF COUNCIL MINUTES

C21/22
NOVEMBER 22, 2022
7:00 P.M.
COUNCIL CHAMBERS

PRESENT: B. Grant Mayor
J. Anderson Councillor
T. Gilmore Councillor
J. MacLellan Councillor
S. Van Vliet Councillor

STAFF PRESENT: W. Kolasa Chief Administrative Officer
M. Ciuffetelli Deputy Clerk
M. Alcock Fire Chief
L. Earl Manager of Community & Development Services
L. Gudgeon Manager of Human Resources
M. Luey Manager of Corporate Services/Treasurer
R. Nan Manager of Operations
M. Tardif By-law Enforcement Officer
A. Chrastina Administrative Assistant

C21/22

1. **Welcome**
The Chief Administrative Officer/Clerk welcomed all in attendance.
2. **Call to Order**
The Chief Administrative Officer/Clerk called the meeting to order at 7:00 p.m.
3. **National Anthem**
4. **Invocation**
Pastor Brian Lofthouse delivered the invocation.
5. **Declaration of Election**
The Chief Administrative Officer/Clerk proclaimed the Declaration of Election.
6. **Declaration of Office and Oath of Allegiance**
The Deputy Clerk for the Township of Wainfleet administered the Oath of Allegiance with the incoming Council:
 - a) Brian Grant, Mayor – The Chief Administrative Officer presented Mayor Grant with the Chain of Office
 - b) Joan Anderson, Councillor
 - c) Terry Gilmore, Councillor
 - d) John MacLellan, Councillor
 - e) Sherri Van Vliet, Councillor

7. **Benediction**
Pastor Brian Lofthouse delivered the Benediction.
8. **Mayor's Inaugural Address**
Mayor Grant delivered is Inaugural Address.
9. **Councillors' Comments**
Councillor Van Vliet provided comments respecting the new term of office and looks forward to the next 4 years.
10. **Adjournment of Meeting**
There being no further business, the meeting was adjourned at 7:25 p.m.

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK

PUBLIC MEETING INFORMATION REPORT

Public Meeting: Tuesday December 13th, 2022 at 7:00 p.m. in Council Chambers
File No.: Zoning By-law Amendment Z01/2022W
Applicant: Township Initiated Housekeeping Amendment

Purpose of a Public Meeting

The purpose of the Public Meeting is to provide more information about the application and provide an opportunity for public input. No recommendations are provided at the Public Meeting and Township Council will not be making any decisions at this meeting. A recommendation report will be prepared by staff and presented at a subsequent meeting of Township Council following a full review of the proposed amendment.

Any person may make written or verbal representation either in support of or in opposition to the proposed Zoning By-law Amendment. Please note that all submissions, including personal information, will become part of the public record and may be publicly released. The Public Meeting will also be live-streamed through the Township's [Youtube](#) page. Written comments are encouraged and can be submitted by email to planning@wainfleet.ca, personal delivery to the Township Office at 31940 Highway #3, Wainfleet or regular mail to P.O. Box 40, Wainfleet ON L0S 1V0, to the attention of Sarah Ivins, Planner.

Amendment Details

A housekeeping amendment makes technical and administrative updates to the Zoning By-law in order to address minor issues, mapping errors and inconsistencies. Finding technical issues within a comprehensive Zoning By-law is not unusual or uncommon. The purpose of the proposed Housekeeping Zoning By-law Amendment is to address three main issues in Zoning By-law 034-2014:

1. Mapping Errors: correct drafting errors and recognize existing uses and prior approvals.
2. Agricultural Zones Exception Numbering Errors: corrections to previous amendments where the exception numbering did not follow the established agricultural zones exception numbering practice (such as duplication of numbers and incorrect sequencing etc.).
3. Missed Zoning By-law Amendments from By-law 581-78: amendments made to Zoning By-law 581-78 (previous Zoning By-law) that were not incorporated into Zoning By-law 034-2014.

A list of issues, summarizing the proposed amendments, is attached as Appendix "A". Staff have also prepared a detailed information package which contains information on each amendment as well as any supporting documents and a map showing the proposed amendment. The information package can be found on the Township's website at www.wainfleet.ca/publicnotices under the File No. Z01/2022W.

A copy of the Draft Zoning By-law Amendment is attached as Appendix "B". This draft by-law will be presented to Council for adoption at a later date.

Consultation

In accordance with the *Planning Act*, a Notice of Public Meeting was published in the November 17th, 2022 edition of the Port Colborne Leader (Niagara This Week) which is a free weekly newspaper distributed in Wainfleet. The notice was also posted on the Township's website at www.wainfleet.ca/publicnotices and on the main homepage under News. A letter and copy of the notice was sent to each property owner affected by the proposed amendment.

The application was circulated to external agencies and internal departments for review and comments on November 15th, 2022. To date, the following comments have been received:

Township Drainage Department noted no concerns or comments.

Township Building Department noted no concerns or comments.

Any additional comments received prior to the public meeting will be addressed verbally at the public meeting and any comments received after the public meeting will be addressed in the staff report.

Next Steps

A planning report regarding a complete review of the proposed amendment will be brought forward by staff and considered by Council at a later date.

If a person or public body does not make oral submissions at the public meeting or make written submission to the Township of Wainfleet regarding the proposed Zoning By-law Amendment before the approval authority gives or refuses to give approval to the amendment, the person or public body is not entitled to appeal the decision of the Township of Wainfleet to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at the public meeting and/or make written submissions to the Township of Wainfleet regarding the proposed Zoning By-law Amendment before the approval authority gives or refuses to give approval to the amendment, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Corporation of the Township of Wainfleet in respect of the proposed Zoning By-law Amendment, you must make a written request to the Deputy Clerk of the Township of Wainfleet at the address noted below and quote the appropriate file number(s).

Contact

For further information regarding the proposed applications please contact Sarah Ivins, Planner, at 905-899-3463 ext. 225 or planning@wainfleet.ca. Written comments can also be sent to the attention of Sarah Ivins.

To request to be notified of the decision, please contact the Deputy Clerk at mciuffetelli@wainfleet.ca.

Attachments

Appendix "A" – List of Amendments

Appendix "B" – Draft Zoning By-law Amendment

Appendix “A” – List of Errors

ZBA Map #	Assessment Roll Number/ Address	Issue	Current Zoning	Proposed Zoning
1	271400001313910 85637 Canborough Road	The A2-7 zone was incorrectly applied to 85633 Canborough Road and should be applied to 85637 Canborough Road to reflect the intent of By-law 829-83.	A2	A2-7
1	271400001313901 85633 Canborough Road	Site specific A2-7 zone applies to the adjacent property.	A2-7	A2
2	271400001217900 63644 Smith Road	Property was severed from 271400001217915. Zoning Bylaw 034-2014 implemented an A2-1 zone to prohibit dwellings in error.	A2-1	A2
3	271400001015401 61430 Regional Road 27 271400001015501 61441 Regional Road 27 271400001015502 61445 Regional Road 27	The A2-18 zone was incorrectly applied to the three listed properties instead of the intended property, 61433 Regional Road 27.	A2, A2-18	A2
4	271400000914000 43581 Highway #3	Property was severed from 271400000914050 as a surplus farm dwelling. Zoning By-law 034-2014 implemented an A2-1 zone to prohibit dwellings in error.	A2-1,46	A2-46
5	271400001207500 Vacant Lot Smith Road	Mapping correction to zone the property as Agricultural – A2-1,72 to reflect the intent of By-law 015-2012.	A2	A2-1,73
6	271400001202700 53223 Winger Road	Part of the property is outside of the Winger Hamlet boundary and should be zoned Agricultural Transition – A1 to align with the official plan designation.	RH(H)	A1
7	Various Properties North of Winger	Mapping correction to remove exception 1, which prohibits dwellings.	A1-1	A1
8	271400000810125 Vacant Lot Building Road	Mapping correction to zone the property as Agricultural – A2 to reflect the intent of By-law 041-2003.	A2-1	A2
9	271400000622710 33041 Feeder Road West	Mapping correction to zone the entire property as Agricultural – A2 to reflect the intent of By-law 009-2009.	A2-25	A2
10	271400000800600 31811 Highway #3	The A1-7 was incorrectly applied to 31811 Highway #3. The site specific A1-7 zone applies to 31829 Highway #3 only.	A1-7	A1
11	271400000125900 10360 Highway #3	Mapping correction to include additional lands in the Extractive Industrial – M2 zone, as previously approved in 2006.	M2, A2	M2, A2
12	271400000617150 13004 Lakeshore Road	Property was severed from 271400000617100 as a surplus farm dwelling. Zoning By-law 034-2014 implemented an A1-1 zone to prohibit dwellings in error.	A1-1	A1
13	271400000617050 13065 Concession 1 Road	Property was created from the re-alignment of Burkett Road. Zoning By-law 034-2014 implemented an A2-1 zone to prohibit dwellings in error.	A2-1	A2
14	271400000539400 12510 Daley Ditch Road	Property has dual zoning and should be fully within a residential zone.	RLS.C10 & A1	RLS.C10
15	271400000539500 12604 Lakeshore Road	Property has dual zoning and should be fully within a residential zone.	RLS.C10 & A1	RLS.C10

ZBA Map #	Assessment Roll Number/ Address	Issue	Current Zoning	Proposed Zoning
16	271400000106400 10340 Lakeshore Road 271400000106200 10330 & 10332 Lakeshore Road 271400000106100 10324 Lakeshore Road 271400000105700 10316, 10318 & 10320 Lakeshore Road	Properties were given a commercial zoning in error. Properties contain single detached dwellings for residential use.	C3	RLS.C15
17	271400000620100 13203 Lakeshore Road	The RLS.C20-4 zone was applied to the property in addition to the intended property, 13195-13199 Lakeshore Road.	RLS.C20-4	RLS.C20
18	271400000210000 10967 Lakeshore Road	The RLS.C15-34 zone was incorrectly applied to the property instead of the intended property, 10969 Lakeshore Road.	RLS.C15-34	RLS.C15
18	271400000210100 10969 Lakeshore	Property should be zoned RLS.C15-34 to reflect the intent of By-law 031-2007.	RLS.C15	RLS.C15-34
19	2714000001005500 Vacant Lot Forks Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 015-2015.	A2-29	A2-1
19	2714000001005509 41558 Forks Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 015-2015.	A2-29	A2-58
20	2714000001004000 Vacant Lot Forks Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 036-2015.	A2-30	A2-1,60
20	2714000001004002 41238 Forks Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 036-2015.	A2-30	A2-59
21	271400000900404 32433 Feeder Road West	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 058-2015.	A2-1	A2-61
22	271400000304700 Vacant Lot Highway #3	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 001-2016.	A1-31	A1-1,25
22	271400000304704 11274 Golf Course Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 001-2016.	A1-31	A1-24
23	271400000126102 Vacant Lot Erie Peat Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 052-2016.	A2-58	A2-1,62
24	2714000001107400 Vacant Lot Perry Road	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 034-2017.	A2-1,66	A2-1,63
25	2714000001313100 Vacant Lot Regional Road 45	Correct exception numbers to reflect the established numbering practice for agricultural zones and to reflect the intent of By-law 024-2018.	A2-1,59	A2-1,77
26	2714000001111504 Vacant Lot Perry Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 014-2014).	A2	A2-1,74
26	2714000001111500 63027 Perry Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 014-2014).	A2	A2-75

ZBA Map #	Assessment Roll Number/ Address	Issue	Current Zoning	Proposed Zoning
27	271400000224801 Vacant Lot Golf Course Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 025-2014).	A1	A1-1,26
28	271400000704700 271400000704800 271400000704605 Vacant Lots Feeder Road East	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 028-2014).	A2	A2-1
29	271400000430000 Vacant Lot Dixie Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 029-2014).	A1 & A2	A1-1 & A2-1
29	271400000430002 21641 Dixie Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 029-2014).	A2	A2-76
30	271400001004200 Vacant Lot Hewitt Road	Incorporate an amendment of Zoning By-law 581-78 into Zoning By-law 034-2014 (By-law 036-2014).	A2	A2-1

Appendix “B” – Draft Zoning By-law Amendment

CORPORATION OF THE TOWNSHIP OF WAINFLEET BY-LAW NO. 00X-2023

Being a by-law pursuant to the provisions of Section 34 of the Planning Act, R.S.O. 1990 to amend Zoning By-law No. 034-2014 of the Corporation of the Township of Wainfleet with respect to all lands within the Township of Wainfleet.

WHEREAS the Corporation of the Township of Wainfleet has reviewed Zoning By-law No. 034-2014 and deems it advisable to amend same:

NOW THEREFORE the Council of the Corporation of the Township of Wainfleet **HEREBY ENACTS AS FOLLOWS:**

1. THAT Map 1 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 85637 Canborough Road from Agricultural – A2 to Agricultural – A2-7 and the property known municipally as 85633 Canborough Road from Agricultural A2-7 to Agricultural – A2 as shown on Schedule “A1” attached hereto;
 - b. the property known municipally as 271400001313100 (Regional Road 45) from Agricultural – A2-1,59 to Agricultural – A2-1,77 as shown on Schedule “A25” attached hereto.
2. THAT Map 2 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 63644 Smith Road from Agricultural – A2-1 to Agricultural – A2 as shown on Schedule “A2” attached hereto.
3. THAT Map 3 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 271400001111504 (Perry Road) from Agricultural – A2 to Agricultural – A2-1,74 and the property known municipally as 63027 Perry Road from Agricultural – A2 to Agricultural – A2-75 as shown on Schedule “A26” attached hereto.
4. THAT Map 4 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning the properties known municipally as 61430, 61441 and 61445 Regional Road 27 from Agricultural – A2 and Agricultural – A2-18 to Agricultural A2 as shown on Schedule “A3” attached hereto.
5. THAT Map 6 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 43581 Highway #3 from Agricultural – A2-1,46 to Agricultural – A2-46 as shown on Schedule “A4” attached hereto;

- b. the property known municipally as 271400001207500 (Smith Road) from Agricultural – A2 to Agricultural – A2-1,73 as shown on Schedule "A5" attached hereto.
- 6. THAT Map 7 of Zoning By-law No. 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 53223 Winger Road from Residential Hamlet – RH(H) to Agricultural Transition – A1 as shown in Schedule "A6" attached hereto;
 - b. the following properties from Agricultural Transition – A1-1 to Agricultural – A1 as shown on Schedule "A7" attached hereto:
 - i. 53236, 53241, 53237, 53235 Winger Road and 271400001203000 (Winger Road);
 - ii. 53060, 53044, 53042, 53038, 53036, 53034, 53030, 53026, 53024, 53018, 53016, 53014, 43030, 53025, 53023, 53021 Perry Road and 271400001107310 (Perry Road);
 - iii. 43038, 42966, 42838 Highway #3;
 - c. the property known municipally as 271400001107400 (Perry Road) from Agricultural – A2-1,66 to Agricultural – A2-1,63 as shown on Schedule "A24" attached hereto.
- 7. THAT Map 8 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 271400000810125 (Builing Road) from Agricultural – A2-1 to Agricultural – A2 as shown on Schedule "A8" attached hereto;
 - b. the property known municipally as 2714000010005500 (Forks Road) from Agricultural – A2-29 to Agricultural – A2-1 and the property known municipally as 41558 Forks Road from Agricultural – A2-29 to Agricultural – A2-58 as shown on Schedule "A19" attached hereto;
 - c. the property known municipally as 271400001004000 (Forks Road) from Agricultural – A2-30 to Agricultural – A2-1,60 and the property known municipally as 41238 Forks Road from Agricultural – A2-30 to Agricultural – A2-59 as shown on Schedule "A20" attached hereto;
 - d. the property known municipally as 271400001004200 (Hewitt Road) from Agricultural – A2 to Agricultural – A2-1 as shown on Schedule "A30" attached hereto.
- 8. THAT Map 9 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the properties known municipally as 271400000704700, 271400000704800 and 271400000704605 (Feeder Road East) from Agricultural – A2 to Agricultural – A2-1 as shown on Schedule "A28" attached hereto.
- 9. THAT Map 10 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 33041 Feeder Road West from

Agricultural – A2 and Agricultural – A2-25 as shown on Schedule "A9" attached hereto.

10. THAT Map 11 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 32433 Feeder Road West from Agricultural – A2-1 to Agricultural – A2-61 as shown on Schedule "A21" attached hereto.
11. THAT Map 12 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 31811 Highway #3 from Agricultural Transition – A1-7 to Agricultural Transition – A1 as shown on Schedule "A10" attached hereto;
 - b. the property known municipally as 271400000430000 (Dixie Road) from Agricultural Transition – A1 and Agricultural – A2 to Agricultural Transition – A1-1 and Agricultural – A2-1 and the property known municipally as 21641 Dixie Road from Agricultural – A2 to Agricultural – A2-76 as shown on Schedule "A29" attached hereto;
12. THAT Map 13 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 10360 Highway #3 from Extractive Industrial – M2 and Agricultural – A2 to Industrial – M2 and Agricultural – A2 as shown on Schedule "A11" attached hereto;
 - b. the property known municipally as 271400000126102 (Erie Peat Road) from Agricultural – A2-58 to Agricultural – A2-1,62 as shown on Schedule "A23" attached hereto.
13. THAT Map 14 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 13065 Concession 1 Road from Agricultural – A2-1 to Agricultural – A2 as shown on Schedule "A12" attached hereto;
 - b. the property known municipally as 13004 Lakeshore Road from Agricultural Transition – A1-1 to Agricultural Transition – A1 as shown on Schedule "A13" attached hereto.
14. THAT Map 15 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning:
 - a. the property known municipally as 12510 Daley Ditch Road from Residential Lakeshore – RLS.C10 and Agricultural Transition – A1 to Residential Lakeshore – RLS.C10 as shown on Schedule "A14" attached hereto;
 - b. the property known municipally as 12604 Lakeshore Road from Residential Lakeshore – RLS.C10 and Agricultural Transition – A1 to Residential Lakeshore – RLS.C10 as shown on Schedule "A15" attached hereto.

15. THAT Map 16 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 271400000304700 (Highway #3) from Agricultural Transition – A1-31 to Agricultural Transition – A1-1,25 and the property known municipally as 11274 Golf Course Road from Agricultural Transition – A1-31 to Agricultural Transition – A1-24 as shown in Schedule "A22" attached hereto.
16. THAT Map 17 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 271400000224801 (Golf Course Road) from Agricultural Transition – A1 to Agricultural Transition – A1-1,26 as shown on Schedule "A27" attached hereto.
17. THAT Map 18 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the properties known municipally as 10340 Lakeshore Road, 10330-10332 Lakeshore Road, 10324 Lakeshore Road and 10316-10320 Lakeshore Road from Resort Recreational Commercial – C3 to Residential Lakeshore – RLS.C15 as shown in Schedule "A16" attached hereto.
18. THAT Map 19 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 13203 Lakeshore Road from Residential Lakeshore – RLS.C20-4 to Residential Lakeshore – RLS.C20 as shown in Schedule "A17" attached hereto.
19. THAT Map 29 of Zoning By-law 034-2014, as amended, is hereby further amended by rezoning the property known municipally as 10967 Lakeshore Road from Residential Lakeshore – RLS.C15-34 to Residential Lakeshore – RLS.C15 and the property known municipally as 10969 Lakeshore Road from Residential Lakeshore – RLS.C15 to Residential Lakeshore – RLS.C15-34 as shown in Schedule "A18" attached hereto.
20. THAT Table 7 of Section 6 entitled "Permitted Use Exceptions" of Zoning By-law 034-2014, as amended, is hereby further amended by adding the following text:

Zone	#	By-law #	Address	Additional Permitted Uses	Sole Permitted Uses	Excluded Uses
A1	1	001-2006 00X-2023	Pt. Lot 35, Con. 5			Dwellings
		001-2016 00X-2023	Pt. Lot 12, Con. 1			
		025-2014 00X-2023	Pt. Lot 11, Con. 1			
		029-2014				

		00X-2023	Pt. Lots 14 & 15, Con. 2			
A2	1	015-2012 00X-2023	Pt. Lot 35, Con. 5			Dwellings
		015-2015 00X-2023	Pt. Lot 15, Con. 5			
		036-2015 00X-2023	Pt. Lot 12, Con. 5			
		058-2015 00X-2023	Pt. Lot 24, Con. 3			
		052-2016 00X-2023	Pt. Lot 4, Con. 2			
		014-2014 00X-2023	Pt. Lot 29, Con. 6			
		028-2014 00X-2023	Pt. Lots 6 & 7, Con. 4			
		029-2014 00X-2023	Pt. Lots 14 & 15, Con. 2			
		036-2014 00X-2023	Pt. Lot 13, Con. 5			
A2	76	029-2014 00X-2023	Pt. Lots 14 & 15, Con. 2			New livestock facilities (after August 12, 2014)

21. THAT Table 7 of Section 6 entitled "Permitted Use Exceptions" of Zoning By-law 034-2014, as amended, is hereby further amended by deleting the struck-out text:

Zone	#	By-law #	Address	Additional Permitted Uses	Sole Permitted Uses	Excluded Uses
A2	29	015-2015	Pt. Lot 15, Con. 5			Dwellings
A2	30	036-2015	Pt. Lot 12, Con. 5			Dwellings
A2	31	001-2016	Pt. Lot 12, Con. 1			Dwellings
A2	58	052-2016	Pt. Lot 4, Con. 2			Dwellings

22. THAT Table 8 of Section 6 entitled "Lot and Building and Structure Exceptions" of Zoning By-law 034-2014, as amended, is hereby further amended by adding the following text:

Zone	#	By-Law #	Address	Description of Special Provision
A1	24	001-2016 00X-2023	Pt. Lot 12, Con. 1	The M.D.S. requirements shall not apply.
A1	25	001-2016 00X-2023	Pt. Lot 12, Con. 1	Minimum Lot Area: 11.25 hectares Minimum Lot Frontage: 158.496m
A1	26	014-2014 00X-2023	Pt. Lot 29, Con. 6	Minimum Lot Area: 9.815 hectares
A2	58	015-2015 00X-2023	Pt. Lot 15, Con. 5	Minimum Lot Frontage: 26.76m The M.D.S. requirements shall not apply.
A2	59	036-2015 00X-2023	Pt. Lot 12, Con. 5	The M.D.S. requirements shall not apply.
A2	60	036-2015 00X-2023	Pt. Lot 12, Con. 5	Minimum Lot Area: 28.29 hectares
A2	61	058-2015 00X-2023	Pt. Lot 24, Con. 3	The M.D.S. requirements shall not apply.
A2	62	052-2016 00X-2023	Pt. Lot 4, Con. 2	Minimum Lot Area: 22.9 hectares
A2	63	034-2014 00X-2023	Pt. Lot 28 & 29, Con. 5	Minimum Lot Area: 22.63 hectares
A2	73	015-2012 00X-2023	Pt. Lot 35, Con. 5	Minimum Lot Area: 8.3 hectares
A2	74	014-2014 00X-2023	Pt. Lot 29, Con. 6	Minimum Lot Area: 15.86 hectares
A2	75	014-2014 00X-2023	Pt. Lot 29, Con. 6	The M.D.S. requirements shall not apply.
A2	76	029-2014 00X-2023	Pt. Lots 14 & 15, Con. 2	The M.D.S. requirements shall not apply. Maximum Number of Livestock Units: 8
A2	77	024-2018 00X-2023	Pt. Lots 50 & 51, Con. 7	Minimum Lot Area: 19.9 hectares

23. THAT Table 8 of Section 6 entitled "Lot and Building and Structure Exceptions" of Zoning By-law 034-2014, as amended, is hereby further amended by deleting the struck-out text and adding the underlined text:

Zone	#	By-Law #	Address	Description of Special Provision
A2	4	058-2015	Pt. Lot 24, Con. 3	The M.D.S. requirements shall not apply.
A2	29	015-2015	Pt. Lot 15, Con. 5	Minimum Lot Frontage: 26.76m The M.D.S. requirements shall not apply.
A2	30	036-2015	Pt. Lot 12, Con. 5	Minimum Lot Area: 28.29 hectares The M.D.S. requirements shall not apply.

A2	31	001-2016	Pt. Lot 12, Con. 1	Minimum Lot Area: 11.25 hectares Minimum Lot Frontage: 158.496m The M.D.S. requirements shall not apply.
A2	46	037-2012 037-2010	Pt. Lot 37, Con. 4	Maximum lot coverage for accessory buildings: 285 sq.m.
A2	58	052-2016	Pt. Lot 4, Con. 2	Minimum Lot Area: 22.9 hectares
A2	59	024-2018	Pt. Lot 50 & 51, Con. 7	Minimum Lot Area: 19.9 hectares
A2	66	034-2017	Pt. Lot 28 & 29, Con. 5	Minimum Lot Area: 22.63 hectares

24. THAT pursuant to Section 34(17) of the Planning Act, as amended, no further public meeting is required.

25. THAT this By-law shall come into force, take effect and be passed on the final reading hereof subject to the provisions of Section 34 of the Planning Act.

BY-LAW READ AND PASSED THIS XXTH DAY OF JANUARY, 2023.

B. Grant, MAYOR

M. Ciuffetelli, DEPUTY CLERK

PUBLIC MEETING INFORMATION REPORT

Public Meeting: Tuesday December 13th, 2022 at 7:00 p.m. in Council Chambers
File No.: Zoning By-law Amendment Z06/2022W
Applicant: Township Initiated Amendment – Hamlet Lot Coverage

Purpose of a Public Meeting

The purpose of the Public Meeting is to provide more information about the application and provide an opportunity for public input. No recommendations are provided at the Public Meeting and Township Council will not be making any decisions at this meeting. A recommendation report will be prepared by staff and presented at a subsequent meeting of Township Council following a full review of the application.

Any person may make written or verbal representation either in support of or in opposition to the proposed Zoning By-law Amendment. Please note that all submissions, including personal information, will become part of the public record and may be publicly released. The Public Meeting will also be live-streamed through the Township's [Youtube](#) page. Written comments are encouraged and can be submitted by email to planning@wainfleet.ca, personal delivery to the Township Office at 31940 Highway #3, Wainfleet or regular mail to P.O. Box 40, Wainfleet ON L0S 1V0, to the attention of Sarah Ivins, Planner.

Amendment Details

Lot coverage is defined as the percentage of the lot area covered by all buildings above ground level. This includes the footprint of a dwelling, attached garage, accessory buildings (such as a garden shed, detached garage, pool house etc.) as well as covered porches, decks, patios, balconies and stairs.

In July of 2021, Council considered a zoning by-law amendment application for a draft plan of condominium proposal off of Wills Road. The application sought a site-specific zoning by-law amendment to increase the maximum lot coverage for a single detached dwelling in the Residential – R1 zone from 7% to 10%. Through the discussion of the merits of that application, Council indicated a preference that the change in lot coverage be applied equally to all lands within the Hamlets and not implemented on a site-specific basis. The zoning by-law amendment request for lot coverage was denied and Council directed staff to look into increasing the maximum lot coverage requirement for all of the Hamlets.

Given Council's direction, staff have prepared a Draft Zoning By-law Amendment, attached as Appendix "A", that would change the maximum lot coverage from 7% to 10% in the Residential – R1 zone under Zoning By-law 581-78 and in the Residential Hamlet – RH zone under Zoning By-law 034-2014.

Consultation

In accordance with the *Planning Act*, a Notice of Public Meeting was published in the November 17th, 2022 edition of the Port Colborne Leader (Niagara This Week) which is a free weekly newspaper distributed in Wainfleet. The notice was also posted on the Township's website at www.wainfleet.ca/publicnotices and on the main homepage under News.

The application was circulated to external agencies and internal departments for review and comments on November 15th, 2022. To date, the following comments have been received:

Township Drainage Department noted no concerns or comments.

Township Building Department noted no concerns or comments.

Any additional comments received prior to the public meeting will be addressed verbally at the public meeting and any comments received after the public meeting will be addressed in the staff report.

Next Steps

A planning report regarding a complete review of the application will be brought forward by staff and considered by Council at a later date.

If a person or public body does not make oral submissions at the public meeting or make written submission to the Township of Wainfleet regarding the proposed Zoning By-law Amendment before the approval authority gives or refuses to give approval to the application, the person or public body is not entitled to appeal the decision of the Township of Wainfleet to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at the public meeting and/or make written submissions to the Township of Wainfleet regarding the proposed Zoning By-law Amendment before the approval authority gives or refuses to give approval to the application, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

If you wish to be notified of the decision of the Corporation of the Township of Wainfleet in respect of the proposed application, you must make a written request to the Deputy Clerk of the Township of Wainfleet at the address noted below and quote the appropriate file number(s).

Contact

For further information regarding the proposed applications please contact Sarah Ivins, Planner, at 905-899-3463 ext. 225 or planning@wainfleet.ca. Written comments can also be sent to the attention of Sarah Ivins.

To request to be notified of the decision, please contact the Deputy Clerk at mciuffetelli@wainfleet.ca.

Attachments

Appendix "A" – Draft Zoning By-law Amendment

Appendix “A” – Draft Zoning By-law Amendment

CORPORATION OF THE TOWNSHIP OF WAINFLEET

BY-LAW NO. 00X-2023

Being a by-law pursuant to the provisions of Section 34 of the Planning Act, R.S.O. 1990 to amend Zoning By-law No. 581-78 and Zoning By-law No. 034-2014 of the Corporation of the Township of Wainfleet with respect to all lands within the Township of Wainfleet.

WHEREAS the Corporation of the Township of Wainfleet has reviewed Zoning By-law No. 581-78 and Zoning By-law No. 034-2014 and deems it advisable to amend same:

NOW THEREFORE the Council of the Corporation of the Township of Wainfleet **HEREBY ENACTS AS FOLLOWS:**

THAT Section 12.2 Residential – R1 zone “Regulations for Dwellings – Conforming Lots” subsection (c) Maximum Lot Coverage of Zoning By-law 581-78, as amended, be further amended by deleting 7% and adding 10%;

THAT Table 10 of Section 7 entitled “Regulations applying to Residential Zones” Maximum Lot Coverage for all uses permitted in the Residential Hamlet – RH zone of Zoning By-law 034-2014, as amended, be further amended by deleting 7% and adding 10%;

THAT this By-law shall come into force, take effect and be passed on the final reading hereof subject to the provisions of Section 34 of the Planning Act.

BY-LAW READ AND PASSED THIS XXTH DAY OF JANUARY, 2023.

B. Grant, MAYOR

M. Ciuffetelli, DEPUTY CLERK

TO: Mayor Grant & Members of Council

FROM: Mallory Luey, Manager of Corporate Services/Treasurer

DATE OF MEETING: December 13, 2022

SUBJECT: 2023 Borrowing for Current Expenditures

RECOMMENDATION(S):

THAT Administrative Staff Report ASR-021/2022 regarding 2023 borrowing for current expenditures be received;

AND THAT the attached by-law, being a by-law to authorize borrowing from time to time to allow the Township of Wainfleet to meet current expenditures during the fiscal year ending December 31, 2023, be read and passed.

EXECUTIVE SUMMARY:

The purpose of this report is to seek Council approval for the 2023 borrowing by-law attached to this report as Appendix "A".

The by-law is presented each year as an interim cash flow measure until taxes are collected and other revenues are received. The Municipal Act authorizes the Treasurer to borrow for current expenditures, if the attached by-law is approved.

BACKGROUND:

The *Municipal Act* makes provisions for Council to authorize the Treasurer to borrow, from time to time, such sums as Council considers necessary to meet the current expenditures of the Township. During the year, shortfalls in cash may occur due to timing differences between the collection of taxes and the payment of expenditures.

OPTIONS/DISCUSSION:

- 1) Council approve the attached by-law authorizing the Mayor and Treasurer to borrow from time to time such sums as may be necessary to meet current expenditures of the Township. (Recommended)
- 2) Council direct staff to not to proceed with the required by-law authorizing the Mayor and the Treasurer to borrow from time to time such sums as may be necessary to meet current expenditures of the Township. (Not Recommended)

FINANCIAL CONSIDERATIONS:

As stated in *the Municipal Act, 2001*, Section 407(2), the total amount borrowed at any one time plus any outstanding amounts of principal borrowed and accrued interest shall not exceed, from January 1st until September 30th of the current year, 50 percent of the estimated revenues of the Corporation as set forth in the estimates adopted for that year. Such borrowing shall not exceed, from October 1st to December 31st of the current year, 25 percent of the said estimated revenues of the Corporation as set forth in the estimates adopted for that year.

OTHERS CONSULTED:

None.

ATTACHMENTS:

- 1) Appendix "A" – Borrowing By-law

Respectfully submitted by,

Approved by,

Mallory Luey
Manager of Corporate Services/Treasurer

William J. Kolasa
Chief Administrative Officer

APPENDIX "A"

THE CORPORATION OF THE TOWNSHIP OF WAINFLEET BY-LAW NO. 0XX-2022

Being a by-law to authorize borrowing from time to time to meet current expenditures during the fiscal year ending December 31, 2023.

WHEREAS Section 407 of the Municipal Act, S.O. 2001 c.25, provides authority for a Council by By-law to authorize the Municipality to borrow from time to time, by way of promissory note or bankers' acceptance, such sums as the Council considers necessary to meet, until taxes are collected and other revenues are received, the current expenditure of the Corporation for the year;

AND WHEREAS the total amount which may be borrowed from all sources at any one time to meet the current expenditures of the Corporation, shall not exceed, except with the approval of the Local Planning Appeal Tribunal, the limitations set out in Section 407(2) of the Municipal Act;

NOW THEREFORE, Council of the Corporation of the Township of Wainfleet
HEREBY ENACTS AS FOLLOWS:

1. **Borrowing Authority**

The Head of Council and the Treasurer are hereby authorized on behalf of the Municipality to borrow from time to time by way of promissory note or bankers' acceptance during the year 2023 (hereinafter referred to as the current year) such sums as may be necessary to meet, until the taxes are collected and until other revenues are received, the current expenditures of the Corporation for the purposes set out in Section 407(1).

2. **Instruments**

A promissory note or bankers' acceptance made under Section 1 shall be signed by the Head of Council and the Treasurer.

3. **Lenders**

The Lenders from whom amounts may be borrowed under authority of this By-law shall be the **MERIDIAN CREDIT UNION LIMITED**. And such other lender(s) of the Municipality as may be determined from time to time by by-law of Council.

4. **Limit on Borrowing**

The total amount which may be borrowed at any one time under this By-law, together with the total of any similar borrowings that have not been repaid, shall not exceed, from January 1st until September 30th of the current year, 50 percent of the estimated revenues of the Corporation as set forth in the estimates adopted for that year. Such borrowing shall not exceed, from October 1st to December 31st of the current year, 25 percent of the said estimated revenues of the Corporation as set forth in the estimates adopted for that year. For purposes of this By-law, the estimated revenues of the Corporation shall not include revenues derivable or derived from:

- a) Borrowing through any issue of debentures,
- b) A surplus, including arrears of taxes, fees or charges,
- c) A transfer from the capital fund, reserve funds or reserves.

5. **Borrowing Documents Required**
The Treasurer shall, at the time when any amount is borrowed under this By-law, ensure that the lender is or has been furnished with
 - a) A certified copy of this By-law,
 - b) A certified copy of the estimates of the Corporation adopted for the current year.
6. **When Estimates Not Adopted**
If the estimates for the current year have not been adopted at the time an amount is borrowed under this By-law.
 - a) The limitation on total borrowing, as set out in Section 4, shall be calculated for the time being upon the estimated revenues of the Corporation as set forth in the estimates adopted for the next preceding year, and
 - b) The certified copy furnished under Section 5 shall show the nature and amount of the estimated revenues of the Corporation as set forth in the estimates adopted for the next preceding year.
7. **Charge on Revenue**
All or any sums borrowed under this By-law shall, with interest thereon, be a charge upon the whole of the revenues of the Corporation for the current year and for any preceding years as and when such revenues are received but such charge does not defeat or affect and is subject to any prior charge then subsisting in favour of any lender.
8. **Directive to Treasurer**
The Treasurer is hereby authorized and directed to apply in payment of all or any sums borrowed under this By-law, together with interest thereon, all or any of the money hereafter collected or received, either on account of or realized in respect of, the taxes levied for the current year and preceding years or from any other source, which may lawfully be applied for such purpose.
9. **Additional Documents**
That the Head of Council and the Treasurer are authorized to execute such additional documents as may be required by the lending authority to evidence the indebtedness.
10. **Effective Date**
This By-law shall come into force as of the 1st day of January, 2023.

BY-LAW READ AND PASSED THIS 13th DAY OF DECEMBER, 2022.

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK

TO: Mayor Grant & Members of Council

FROM: Mallory Luey, Manager of Corporate Services/ Treasurer

DATE OF MEETING: December 13, 2022

SUBJECT: Interim 2023 Tax Levy By-law

RECOMMENDATION(S):

THAT Administrative Staff Report ASR-022/2022 regarding an Interim 2023 Tax Levy By-law be received; and

THAT the interim tax levy installment due dates be set as February 28, 2023 and April 28, 2023; and

THAT the attached by-law, being a by-law to provide for interim tax levies for 2023 in the Township of Wainfleet, be read and passed.

EXECUTIVE SUMMARY:

The purpose of this report is to seek Council approval for the 2023 Interim Tax Levy by-law. This by-law is prepared each year in accordance with the Municipal Act, Section 317, and will come into effect on January 1, 2023.

The by-law is presented as an interim measure until the budget is adopted.

BACKGROUND:

In order for the Township to meet its current obligations, including payments to the Niagara Region and School Boards, section 317 of the *Municipal Act* provides for the municipality to levy interim taxation on all rateable properties prior to the approval of the current budget. Subsection 317(2) of the *Municipal Act* states that a by-law shall be passed in the year that the amounts are to be levied or may be passed in November or December of the previous year if it provides that it does not come into force until a specified day in the following year.

OPTIONS/DISCUSSION:

- 1) Council approve the attached by-law authorizing the Township to impose and collect an interim tax levy. (Recommended)
- 2) Council direct staff to not to proceed with the required by-law authorizing the Township to impose and collect an interim tax levy. (Not Recommended)

FINANCIAL CONSIDERATIONS:

An interim tax levy will allow the Township to meet its current financial obligations including interim payments to the Niagara Region and the School Boards.

OTHERS CONSULTED:

None.

ATTACHMENTS:

- 1) Appendix "A" – Interim Tax Levy By-law

Respectfully submitted by,

Approved by,

Mallory Luey
Manager of Corporate Services/Treasurer

William J. Kolasa
Chief Administrative Officer

APPENDIX “A”

THE CORPORATION OF THE TOWNSHIP OF WAINFLEET

BY-LAW NO. XXX-2022

Being a by-law to provide for interim tax levies
for the year 2023 for the Township of
Wainfleet.

WHEREAS section of the *Municipal Act*, S.O. 2001, c. 25, as amended, provides that the council of a local municipality, before the adoption of estimates for the year under Section 290, may pass a by-law levying amounts on the assessment of property in the local municipality rateable for local municipality purposes;

AND WHEREAS the Council of this municipality deems it appropriate to provide for such interim levy on the assessment of property in this municipality;

NOW THEREFORE the Council of the Corporation of the Township of Wainfleet **HEREBY ENACTS AS FOLLOWS:**

1. The amounts levied shall be as follows:

1.1. For the Residential, Pipeline, Farmland and Managed Forest property classes there shall be imposed and collected an interim levy of:

(a) the percentage prescribed by the Minister under section 317(10) of the *Municipal Act*; or,

(b) 50%, if no percentage is prescribed,

of the total taxes for municipal and school purposes levied on in the year 2022.

1.2. For the Multi-Residential, Commercial and Industrial property classes there shall be imposed and collected an interim levy of:

(c) the percentage prescribed by the Minister under section 317(10) of the *Municipal Act*; or,

(d) 50% if no percentage is prescribed,

of the total taxes for municipal and school purposes levied on in the year 2022.

2. All taxes levied under this by-law shall be payable into the hands of the Collector in accordance with the provisions of this by-law.

3. There shall be imposed on all taxes a penalty for non-payment or late payment of taxes in default of the installment dates set out below. The penalty shall be one and one-quarter percent (1¼%) of the amount in default on the first day of default and on the first day of each calendar month during which the default continues.

4. The interim tax levy imposed by this by-law shall be paid in two installments due on the following dates:
 - 4.1. One-half (1/2) thereof on the 28th day of February of 2023.
 - 4.2. One-half (1/2) thereof on the 28th day of April of 2023.
5. The Collector may mail or cause to be mailed to the address of the residence or place of business of each person taxed under this by-law, a notice specifying the amount of taxes payable.
6. The notice to be mailed under this by-law shall contain the particulars provided for in this by-law and the information required to be entered in the Collector's roll under section 340 of the *Municipal Act*.
7. The subsequent levy for the year 2023 to be made under the *Municipal Act* shall be reduced by the amount to be raised by the levy imposed by this by-law.
8. The provisions of s.317 of the *Municipal Act*, as amended apply to this by-law with necessary modifications.
9. The Collector shall be authorized to accept part payment from time to time on account of any taxes due, and to give a receipt of such part payment, provided that acceptance of any such part payment shall not affect the collection of any percentage charge imposed and collectable under section 5 of this by-law in respect of non-payment or late payment of any taxes or any installment of taxes.
10. Nothing in this by-law shall prevent the Collector from proceeding at any time with the collection of any tax, or any part thereof, in accordance with the provisions of the statutes and by-laws governing the collection of taxes.
11. In the event of any conflict between the provisions of this by-law and any other by-law, the provisions of this by-law shall prevail.
12. This By-law shall come into force as of the 1st day of January, 2023.

BY-LAW READ AND PASSED THIS 13th DAY OF DECEMBER, 2022.

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK

TO: Mayor Grant & Members of Council

FROM: Sherry Mayne, Deputy Treasurer

DATE OF MEETING: December 13, 2022

SUBJECT: **Cancellation, reduction or refund of Property Tax for the taxation years 2020-2022**

RECOMMENDATION(S):

THAT Administrative Staff Report ASR 023/2022 respecting cancellation, reduction and refund of property tax be received;

AND THAT Council approve the attached applications pursuant to Section 357 of the Municipal Act, 2001, to write off taxes as follows:

Application	Tax Reduction
2022-02	\$3,047.36
2022-03	347.84
2022-04	1,653.55
2022-05	1,247.54

EXECUTIVE SUMMARY:

The purpose of this report is to seek Council approval in order to cancel, reduce or refund property tax of the applicants in accordance with the recommendations of the Municipal Property Assessment Corporation (MPAC) Assessor.

BACKGROUND:

Under section 357/358 of the Municipal Act, 2001, as amended, an application to the Council may be made by taxpayer for the cancellation, reduction or refund of tax levied in the current year for specific purposes.

Once received and processed by staff, the application is forwarded to the Municipal Property Assessment Corporation (MPAC) for their recommendation. These applications are then returned to the municipality for calculation of monetary value of tax reduction.

Section 357 Application Numbers 2022-02, 2022-04, 2022-05 were received and submitted to MPAC for a valuation of the demolition of single detached dwellings as it relates to the property's assessment.

Section 357 Application Number 2022-03 was received and submitted to MPAC for a valuation of the single detached dwelling that was razed by fire as it relates to the property's assessment.

OPTIONS/DISCUSSION:

Staff has prepared the attached summary report encompassing the applications received to date and submit such report to council for approval. It is a rarity that any recommendation is challenged by the taxpayer, however, if such did occur, staff would request MPAC to attend the council meeting to defend or amend the recommendation.

FINANCIAL CONSIDERATIONS:

Application Numbers 2022-02, 2022-03, 2022-04 and 2022-05, under Section 357/358 have been received and require Council's approval. The total amount of reduction or cancellation of taxes is as follows:

Application	Tax Reduction	Municipal Portion
2022-02	\$3,047.36	\$1,377.88
2022-03	347.84	165.62
2022-04	1,653.55	756.92
2022-05	1,247.54	571.07

OTHERS CONSULTED:

- 1) MPAC
- 2) Township of Wainfleet – Building Dept.
- 3) Township of Wainfleet – Fire Dept.

ATTACHMENTS:

- 1) Appendix "A" – MPAC Responses
- 2) Appendix "B" – Tax Reduction Worksheet

Prepared by,

Ashley Jenkins
Tax Clerk

Respectfully submitted by,

Approved by,

Sherry Mayne,
Deputy Treasurer

William Kolasa,
Chief Administrative Officer/Clerk

2022-02

Application made under Sec 357/358/359 of the Municipal Act, 2001

MPAC's RESPONSE

Owner name(s) DEVRIES, INGRID
 JANSEMA, JOEL CHRISTOPHER
 Roll number 2714-000-011-09800-0000
 Property location 62628-62632 TRAVER RD
 Property description CON 6 PT LOT 25 PT LOT 26 RP 59R7213 PARTS 1 TO 4
 Municipality/Local taxing authority WAINFLEET TOWNSHIP
 Application number 2022-02
 Application reason Gross or Manifest Error
 Received date October 04, 2022
 Claim relief period **From: January 01, 2020 - To: December 31, 2020**
 Taxation year 2020

Current Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR CL F T	19,369	33,400	22,877	26,385	29,892	33,400
OWNR FL F T	522,431	900,900	617,048	711,665	806,283	900,900
OWNR FRU R T	321,847	466,700	358,060	394,274	430,487	466,700
Total	863,647	1,401,000	997,985	1,132,324	1,266,662	1,401,000

Change to the Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR CL F T	19,369	33,400	22,877	26,385	29,892	33,400
OWNR FL F T	522,431	900,900	617,048	711,665	806,283	900,900
OWNR FRU R T	249,437	361,700	277,503	305,569	333,634	361,700
Total	791,237	1,296,000	917,428	1,043,619	1,169,809	1,296,000

-105 000 RT
 X 0.01425864
 =1497.161

MPAC Remarks

MPAC can confirm an error in the preparation of the Assessment Roll for 2020, as House demolition took place Dec 11, 2019 as per PI. The APR was built off the OMT, and reduction is \$105,000 FRU RT.

MPAC Representative:

John Cole

Date:

October 21, 2022

2022-02
Application made under Sec 357/358/359 of the Municipal Act, 2001

MPAC's RESPONSE

Owner name(s) DEVRIES, INGRID
JANSEMA, JOEL CHRISTOPHER
Roll number 2714-000-011-09800-0000
Property location 62628-62632 TRAVER RD
Property description CON 6 PT LOT 25 PT LOT 26 RP 59R7213 PARTS 1 TO 4
Municipality/Local taxing authority WAINFLEET TOWNSHIP

Application number 2022-02
Application reason Gross or Manifest Error
Received date October 04, 2022
Claim relief period **From: January 01, 2021 - To: December 31, 2021**
Taxation year 2021

Current Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR CL F T	19,369	33,400	22,877	26,385	29,892	33,400
OWNR FL F T	522,431	900,900	617,048	711,665	806,283	900,900
OWNR FRU R T	321,847	466,700	358,060	394,274	430,487	466,700
Total	863,647	1,401,000	997,985	1,132,324	1,266,662	1,401,000

Change to the Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR CL F T	19,369	33,400	22,877	26,385	29,892	33,400
OWNR FL F T	522,431	900,900	617,048	711,665	806,283	900,900
OWNR FRU R T	249,437	361,700	277,503	305,569	333,634	361,700
Total	791,237	1,296,000	917,428	1,043,619	1,169,809	1,296,000

= -105 000 RT
x 0.01476381
-1550.20

MPAC Remarks

MPAC can confirm an error in the preparation of the Assessment Roll for 2021, as House demolition took place Dec 11, 2019 as per PI. The APR was built off the OMT, and reduction is \$105,000 FRU RT.

MPAC Representative:

John Cole

Date:

October 21, 2022

2022-03

Application made under Sec 357/358/359 of the Municipal Act, 2001

MPAC's RESPONSE

Owner name(s) NOONAN, PATRICK JOSEPH
 Roll number 2714-000-010-14200-0000
 Property location 61358 REGIONAL ROAD 27
 Property description WAINFLEET CON 6 PT LOT 13 RP 59R14446 PART 1
 Municipality/Local taxing authority WAINFLEET TOWNSHIP

 Application number 2022-03
 Application reason Demolition/Razed by Fire
 Received date October 06, 2022
 Claim relief period **From: September 07, 2022 - To: December 31, 2022**
 Taxation year 2022

Current Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR RU R T	194,000	235,000	204,250	214,500	224,750	235,000
Total	194,000	235,000	204,250	214,500	224,750	235,000

Change to the Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR OT R T	136,213	165,000	143,410	150,607	157,803	165,000
Total	136,213	165,000	143,410	150,607	157,803	165,000

- 70 000 RT
 X 0.01563575
 1094.50 (116 days)
 - 347.84

MPAC Remarks

House was razed by fire Sep 7, 2022 - spoke to owner Oct 21/22 - house will be demolished soon, not inhabitable - removed house from assessment

MPAC Representative:

John Cole

Date:

October 25, 2022

2022-04

Application made under Sec 357/358/359 of the Municipal Act, 2001

MPAC's RESPONSE

Owner name(s) VITUCCI, CHRISTINE EMALY IRENE
 Roll number 2714-000-011-15600-0000
 Property location 82816 OLD RIVER RD E
 Property description CON 7 PT LOT 28
 Municipality/Local taxing authority WAINFLEET TOWNSHIP
 Application number 2022-04
 Application reason Gross or Manifest Error
 Received date October 11, 2022
 Claim relief period From: January 01, 2021 - To: December 31, 2021
 Taxation year 2021

Current Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR RU R T	124,000	163,000	133,750	143,500	153,250	163,000
Total	124,000	163,000	133,750	143,500	153,250	163,000

Change to the Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2022
OWNR VL R T	38,798	51,000	41,849	44,899	47,950	51,000
Total	38,798	51,000	41,849	44,899	47,950	51,000

(RT) - 112000

MPAC Remarks

MPAC has confirmed there was an error in the preparation of the Assessment Roll for 2021 Taxation as the demolition for house and shed occurred September 23, 2020.

- 112000 x 0.01476381
 = 1653.55

MPAC Representative:

John Cole

Date:

October 12, 2022

2022-05

Application made under Sec 357/358/359 of the Municipal Act, 2001

MPAC's RESPONSE

Owner name(s) MAURICE, SHERRI
 Roll number 2714-000-005-14300-0000
 Property location 12129 HOCK RD
 Property description PLAN 17 LOT 90 NP744
 Municipality/Local taxing authority WAINFLEET TOWNSHIP

Application number 2022-05
 Application reason Gross or Manifest Error
 Received date November 01, 2022
 Claim relief period **From: January 01, 2021 - To: December 31, 2021**
 Taxation year 2021

Current Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2023
OWNR RDU R T	123,000	130,000	124,750	126,500	128,250	130,000
Total	123,000	130,000	124,750	126,500	128,250	130,000

Change to the Property Assessment

Property Classification	2012	2016	Phase-In Assessment for Taxation Years			
	Assessed Value	Assessed Value	2017	2018	2019	2020-2023
OWNR VL R T	43,050	45,500	43,663	44,275	44,888	45,500
Total	43,050	45,500	43,663	44,275	44,888	45,500

-84500 (RT)
 x 0.01476381
 =1247.54

MPAC Remarks

MPAC has confirmed there was an error in the preparation of the Assessment Roll for 2021 Taxation - structure demolished Oct 2020

MPAC Representative:

John Cole

Date:

November 15, 2022

Summary Report - Tax Liability Calculations

Report Number: ASR 023/2022

Appendix B

Council Meeting

	Section Reason	Application No.	Effective Date	Roll # Address	Tax Class	Assessment Change	Total Adj	Municipality	Region	Waste Mgmt	School Board
Tax Reduction	357	2022-02	JAN 01.20 DEC 31.20	2714 000 011 09800 62628-62632 TRAVER RD	RT	-105,000	-1,497.16	-668.27	-606.88	-61.36	-160.65
Tax Year	2020	No. of Days: 365									
Tax Reduction	357	2022-02	JAN 01.21 DEC 31.21	2714 000 011 09800 62628-62632 TRAVER RD	RT	-105,000	-1,550.20	-709.61	-616.95	-62.99	-160.65
Tax Year	2021	No. of Days: 365									
				2714 000 011 09800	Total Adj. 2020 & 2021		-3,047.36	-1,377.88	-1,223.83	-124.35	-321.30

	Section Reason	Application No.	Effective Date	Roll # Address	Tax Class	Assessment Change	Total Adj	Municipality	Region	Waste Mgmt	School Board
Tax Reduction	357	2022-03	SEPT 07.22 DEC 31.22	2714 000 010 14200 61358 REGIONAL RD 27	RT	-70,000	-347.84	-165.62	-134.27	-13.91	-34.04
Tax Year	2022	No. of Days: 116				Total Adj.	-347.84	-165.62	-134.27	-13.91	-34.04

	Section Reason	Application No.	Effective Date	Roll # Address	Tax Class	Assessment Change	Total Adj	Municipality	Region	Waste Mgmt	School Board
Tax Reduction	357	2022-04	JAN 01.21 DEC 31.21	2714 000 011 15600 82816 Old River Road E	RT	-112,000	-1,653.55	-756.92	-658.08	-67.19	-171.36
Tax Year	2021	No. of Days: 365				Total Adj.	-1,653.55	-756.92	-658.08	-67.19	-171.36

	Section Reason	Application No.	Effective Date	Roll # Address	Tax Class	Assessment Change	Total Adj	Municipality	Region	Waste Mgmt	School Board
Tax Reduction	357	2022-05	JAN 01.21 DEC 31.21	2714 000 005 14300 12129 Hock Road	RT	-84,500	-1,247.54	-571.07	-496.50	-50.69	-129.29
Tax Year	2021	No. of Days: 365				Total Adj.	-1,247.54	-571.07	-496.50	-50.69	-129.29

ADMINISTRATION STAFF REPORT

ASR-024/2022

TO: Mayor Grant & Members of Council

FROM: M. Kirkham, Deputy Clerk

DATE OF MEETING: December 13, 2022

SUBJECT: 2022 Municipal & School Board Election – Accessibility Report

RECOMMENDATION(S):

THAT ASR-024/2022 respecting 2022 Municipal and School Board Election – Accessibility Report be received as information

EXECUTIVE SUMMARY:

The purpose of this report is to provide Council with a description of the identification, removal and prevention of barriers that affect electors and candidates with accessibility issues as required under the *Municipal Elections Act, 1996* s. 12.1(3).

BACKGROUND:

The *Municipal Elections Act, 1996*, requires the Clerk to provide Council with a report outlining the identification, removal and prevention of barriers that affect electors and candidates with disabilities.

As in 2018, the 2022 Municipal Election was conducted as a Vote-by-Mail (VBM) election. Voter Kits containing a Voters' Declaration of Eligibility, a ballot, a ballot secrecy envelope and a return-mail envelope were delivered to every eligible elector contained on the Voters' List beginning in early October. Return Ballot Kits that were not placed in the mail were accepted/collected at the Township Office starting October 5, 2022 to the end of Voting Day, October 24, 2022 at 8:00pm. In addition, measures were taken to allow qualified persons the ability to receive a ballot at: the Township Office; by mail; and at the ballot drop-off station on Voting Day until 8:00p.m.

OPTIONS/DISCUSSION:

As part of the administrative planning of the 2022 Election, staff conducted a review of election processes, practices, and procedures to ensure accessibility for voters, candidates, and other stakeholders.

The following chart summarizes accessibility issues that were identified and actions taken to address the issues.

Accessibility Issue	Election information available to all interested stakeholders
Action Taken	<ul style="list-style-type: none"> • Election information was posted on the Township web page. • Notices were published in local newspapers and posted on bulletin boards in the Township Office. • The Township made use of social media to disseminate information when appropriate. • The Township utilized the digital sign located outside the Township Office to disseminate information when appropriate.
Accessibility Issue	Provide material to candidates and voters outlining accessible elections
Action Taken	<ul style="list-style-type: none"> • Provided all candidates with a copy of an AMCTO/ Province of Ontario publication Candidate's Guide to Conducting Accessible Elections. • Provided all candidates with a copy of the Township of Wainfleet Accessible Election Policies and Procedures. • Published a link on the Township website to a copy of the same document for members of the public. • Paper copies were available upon request.
Accessibility Issue	Provide Township documents in alternative formats
Action Taken	<ul style="list-style-type: none"> • In accordance with the Township's Accessibility Policy, copies of all municipal documents are available in alternative formats upon request.
Accessibility Issue	Provide voters the ability to check and update Voters' Lists
Action Taken	<ul style="list-style-type: none"> • A special portal was set-up on the Township website to allow voters to check their name on the voter list and commence the amendment process when applicable. • Voters' List was set-up at the front counter at the Township Office to allow voters the ability to check their status (paper and electronic).
Accessibility Issue	Voters' List for Candidates
Action Taken	<ul style="list-style-type: none"> • Updated Voters' Lists were available, in hard copy or USB, to candidates weekly from September 30 – October 21, 2022.
Accessibility Issue	Minimize physical barriers to voting
Action Taken	<ul style="list-style-type: none"> • The Township used the Vote-by-Mail method for the fourth time.

	<ul style="list-style-type: none"> • Vote-by-Mail allowed voters to vote at home and return the ballot through the mail service or by dropping it off at the Township Office. • In order to accommodate those that did not wish to return their completed ballot kit via mail, or were too late to do so, the Township accepted completed ballot kits in a ballot box at the Township Office throughout the voting period and at the ballot drop-off station on Voting Day.
Accessibility Issue	Provided candidates and voters with Vote-by-Mail instructions
Action(s) Taken	<ul style="list-style-type: none"> • The Township provided instructions in every Voter Kit. • When Voter Kits were issued in person verbal and written instructions were provided. • An instructional step-by-step video and illustrations were available on the Township website. • Township staff attended the Fall Fair and Farmers Market to promote the alternative voting method.
Accessibility Issue	Provide Accessible Customer Service training to election workers.
Action(s) Taken	<ul style="list-style-type: none"> • Election workers and staff were provided with Accessible Customer Service Training, during the election training.
Accessibility Issue	Allow for the use of service animals or support persons in the voting process.
Action(s) Taken	<ul style="list-style-type: none"> • The use of service animals and support persons is provided in the Township's Accessible Customer Service Policy.
Accessibility Issue	Establish a process to provide notice of temporary disruptions of election services.
Action(s) Taken	<ul style="list-style-type: none"> • Notice of potential disruptions of postal service was: posted on the Township website, on the Township Facebook page, on the Township's scrolling electronic sign and provided at the Township front desk.

Considerations for Increasing Accessibility for Future Elections

Voters did provide some feedback in regards to the VBM system. Staff received a number of compliments regarding the system including ease of use and ability to cast a ballot at the convenience of the elector. Complaints included; concerns regarding the accuracy of information contained in the Voters' List and a concern that voter secrecy envelopes were being returned along with a signed Voters' Eligibility declaration.

To address those voters that do not agree with the VBM system, staff could propose:

- 1) enhanced public education effort regarding the double- envelope VBM system, and
- 2) the establishment of a formal polling station on Voting Day.

The establishment of a formal polling station would be the addition of a tabulator at the polling station. Further, this would reduce the number of VBM ballots that would need to be processed at the end of Voting Day and could decrease wait times for voters at the polling station. This one formal polling station would not replace the VBM system, but a means to increase accessibility and efficiency for voters, election workers and staff. These options would require appropriate budgeting.

Another suggestion would be to circulate a postcard or pamphlet in the spring of election year to all residents of the Township, requesting that they check the Voters' List to ensure that their information is correct and provide education regarding the VBM system. Although this was the third time the election was conducted entirely by the VBM, some voters expressed concerns about not being reminded of this voting system.

FINANCIAL CONSIDERATIONS:

A contribution will be included in each of the 2023, 2024, 2025 and 2026 budgets to fund the 2026 election. Additional allocations can be made in the event that Council wishes to conduct a traditional poll on Voting Day. A traditional polling station will require, a tabulator, ballots, additional workers and appropriate training.

OTHERS CONSULTED:

None.

ATTACHMENTS:

None.

Respectfully submitted by,

Reviewed by,

Meredith Kirkham
Deputy Clerk

William J. Kolasa
Chief Administrative Officer/Clerk

TO: Mayor Grant & Members of Council

FROM: Meredith Kirkham, Deputy Clerk

DATE OF MEETING: December 13, 2022

SUBJECT: 2023 Council Meeting Schedule

RECOMMENDATION(S):

THAT Administrative Staff Report ASR-025/2022 respecting the 2023 Council Meeting Schedule be received; and

THAT the 2023 Council Meeting Schedule outlined in the report be confirmed and adopted.

EXECUTIVE SUMMARY:

The purpose of this report is to seek Council direction regarding the establishment of a 2023 Council meeting schedule.

BACKGROUND:

According to the Township's Procedural By-law, Council meetings are to be scheduled every third Tuesday, beginning with the first Tuesday in January at 7:00 p.m. The first Tuesday in January is the first day back from Christmas holidays, and therefore, staff recommend the first meeting in 2023 be held the following Tuesday, January 10, 2022.

Staff will undertake a comprehensive review of the Procedure By-law and incorporate this change along with any other recommendations or housekeeping changes to ensure that the By-law and the procedures contained therein are consistent with the prevailing legislation and with Council's directions and accountabilities for its upcoming term.

A review of the Procedure By-law has been undertaken to potentially identify and accommodate scheduling conflicts, including conflicts with statutory holidays and other events of important corporate impact (for example, significant municipally-related events such as the Association of Municipalities of Ontario Conference and Rural Ontario Municipal Association Conference).

If Council supports the adoption of the proposed schedule, Members should be aware that special meetings of Council may be required to be called from time to time if urgent business arises requiring Council's attention.

OPTIONS/DISCUSSION:

At this time, staff therefore propose the following 2023 Regular Council Meeting Schedule:

January 10	July 18
<i>January 31 – Capital Budget</i>	
February 7 & 21	August 8 & 29
<i>February 28 – Operating Budget</i>	
March 14	September 19
April 4 & 25	October 10 & 31
May 16	November 21
June 6 & 27	December 12

Staff propose a special Capital Budget Meeting to be held on January 31 2022; a special Operating Budget Meeting to be held on February 28, 2022; and would propose consideration of the final budget at the Regular Council meeting on March 14, 2022.

FINANCIAL CONSIDERATIONS:

Although there are costs associated with the conduct of Council meetings (staff time, streaming costs, etc.), there are no direct financial implications related to the establishment of a 2023 Meeting Schedule.

OTHERS CONSULTED:

- 1) Strategic Leadership Team

ATTACHMENTS:

None

Respectfully submitted by,

Reviewed by,

Meredith Kirkham
Deputy Clerk

William J. Kolasa
Chief Administrative Officer/Clerk

TO: Mayor Grant & Members of Council

FROM: Meredith Kirkham, Deputy Clerk

DATE OF MEETING: December 13, 2022

SUBJECT: Committee Composition for the 2022-2026 Term of Council

RECOMMENDATION(S):

THAT Report ASR-026/2022 regarding Committee Composition for the 2022-2026 Term of Council be received for information; and

THAT staff be directed to proceed with inviting applications from citizens of Wainfleet interested in sitting on:

1. The Township of Wainfleet Public Library Board;
2. Committee of Adjustment/Fence-viewers/Property Standards Committee/ Dog Control By-law Appeals;
3. Wainfleet Drainage Advisory Committee;
4. Wainfleet Age-Friendly Advisory Committee; and

THAT Council provide direction regarding Councillor appointments to:

1. The Township of Wainfleet Public Library Board;
2. Wainfleet Drainage Advisory Committee;
3. Wainfleet Age-Friendly Advisory Committee;
4. Niagara Transit Commission Board;
5. Niagara Central Dorothy Rungeling Airport Commission; and
6. Deputy Mayor.

EXECUTIVE SUMMARY:

This report provides recommendations regarding the public representation to various Township Agencies, Boards and Committees for the 2022-2026 term of Council.

BACKGROUND:

Agency, Board and Committee appointments run concurrent with the term of Council. Staff will advertise for applications from the public for various Agencies, Boards, and Committees for Council consideration for the 2022-2026 term of Council starting December 14, 2022 with a deadline for submission of applications being January 2, 2023.

OPTIONS/DISCUSSION:

The following are a current list of Agencies, Boards and Committees that have representation from Members of Council and the Public.

1. The Township of Wainfleet Public Library Board

The Wainfleet Township Public Library Board shall seek to provide a comprehensive and efficient public library service that reflects the community's unique needs.

The Board:

- i. determines and adopts written policies to govern the operation of the Board and Library. Policies are reviewed and revised (if needed) on a 2 year basis or as necessary
- ii. seeks to ascertain the library-related needs of the community
- iii. determines the goals and objectives of the Library and seeks to secure adequate funds to fulfil these goals
- iv. provides specified library services without charge and seeks to ensure that the operation is in accordance with the **Public Libraries Act** and other applicable legislation
- v. fixes the dates and times for regular meetings of the Board and the mode of calling and conducting them, and ensures that full and correct minutes are kept
- vi. makes provision for insuring the Board's real and personal property
- vii. takes proper security for the Treasurer
- viii. appoints a competent and qualified Chief Executive Officer; and if necessary, dismisses the CEO
- ix. works with the CEO to prepare a budget adequate to carry out the Library's goals and objectives and presents this budget to municipal council
- x. approves and submits all reports required by the Act or Regulations
seeks to act collaboratively with other boards, the municipality, the province and other agencies which support the Library's purposes.

The current Board composition is comprised of:

- One (1) Member of Council; and
- Four (4) Citizen Appointees.

**2. Committee of Adjustment/Fence-viewers/Property Standards Committee/
Dog Control By-law Appeal Committee**

The Committee of Adjustment is a quasi-judicial body operating under the *Planning Act*, the Statutory Powers Procedure Act and various Provincial Regulations. It is appointed by the Township Council but operates independently from Council. Section 45, 50, 51 and 53 of the *Planning Act* sets out the Committee's authority to deal with minor variances, permission, consent

validation of title and power of sale applications. Consents are also referred to as land division or severance.

Additionally, members of the public that are appointed to the Committee of Adjustment are also called upon, from time to time, to serve as:

- Fence-viewers (to hear applications made under the Province of Ontario's Line Fences Act);
- Property Standards Committee (to hear appeals under the Township's Property Standards By-law); and
- Dog Control By-law Appeal Committee (to hear appeals under the Township's Dog Control By-law).

The current Committee composition is:

- Five (5) Members of the Public.

3. Drainage Advisory Committee

The Drainage Advisory Committee was formed to assist the municipality in identifying drainage issues and concerns and to advise on fair and objective execution of procedures of the Drainage Act.

The current Committee composition is:

- One (1) Member of Council; and
- Five (5) Members of the Public.

4. Age-Friendly Advisory Committee

The Wainfleet Age-Friendly Advisory Committee/Working Group will report to Council and recommend and promote "Age-Friendly" initiatives in order for the Township of Wainfleet to become a more age-friendly community.

This Committee was created in 2020 and was only able to hold a few meetings prior to COVID-19. At that time, the Committee was unable to meet in person based on COVID-19 regulations and a number of members subsequently resigned their positions. As such, the Committee failed to meet their composition requirements as listed in the Terms of Reference and remained dormant through the remainder of the pandemic and term of Council.

Recently, the Township joined Niagara Region and other Niagara Municipalities in participating in the Coalition of Inclusive Municipalities in promoting the principles of Diversity, Equity and Inclusion. Although not formally included in the current terms of reference; members of the Township's Age-Friendly Advisory Committee may also be able to provide valuable input into the Township's activities in addressing the negative impacts of bias and discrimination on quality of life, safety, health and inclusion.

The current Committee composition is:

- One (1) Council representative; and
- Eight (8) Members of the Public (staff recommend amending the Terms of Reference to 5 members of the public).

5. Niagara Peninsula Conservation Authority Board

In accordance with the Conservation Authorities Act, Niagara Region Council has established that it has authority to appoint representatives to the Board of Directors of the Niagara Peninsula Conservation Authority. To that end, for this term of office, Niagara Region will be solely responsible for appointments to the NPCA including four (4) Members of Regional Council plus one (1) citizen appointee. The citizen appointee will apply directly to the Region of Niagara for the position. A Memorandum and Report outlining the process can be viewed as [Agenda Item 9.3 on the agenda of the December 1, 2022, meeting of the Council of the Regional Municipality of Niagara.](#)

6. Niagara Transit Commission Board

In accordance with Niagara Regional By-law No. 2022-38, being a By-law to Establish the Niagara Transit Commission as a Municipal Service Board; each lower tier municipality in Niagara is being requested to recommend nominee(s) for appointment by Regional Council to the Niagara Transit Commission Board for the 2022-2026 term of Council.

In keeping with the Governance Strategy developed through the triple-majority process, nominees must be an elected official, either a local or Regional Councillor; and each municipality is being asked to forward to Niagara Region the appropriate number of nominees in accordance with the 15-member board composition outlined in Regional Report PW 55-2021 as follows:

- Three (3) Members - St. Catharines
- Two (2) Members - Niagara Falls
- One (1) Member - All Other Municipalities (including the Township of Wainfleet)

In selecting nominees, Council may wish to prioritize candidates with particular expertise or background in areas such as business, finance, strategic planning, or transit operations. Meetings are typically being held once a month on a Tuesday afternoon.

7. Niagara Central Dorothy Rungeling Airport Commission

As a shareholder and part owner of the Niagara Central Dorothy Rungeling Airport; the Township, in accordance with the *Welland-Port Colborne Airport Act*,

1976, S.O. 1976, c.107, is eligible to appoint one (1) member to the seven-member airport commission.

Other partner municipalities appoint members as follows:

- Welland – 3 Members;
- Port Colborne – 2 Members; and
- Pelham – 1 Member.

Similar to the Niagara Transit Commission Board: in selecting appointees, Council may wish to consider candidates with particular expertise or background in areas such as business, finance, strategic planning, or airport operations.

8. Appointment of Deputy Mayor

A requirement of the newly appointed Council is to appoint a Deputy Mayor. As it is currently outlined in the Procedure By-law No. 058-2019 Section 7.4(a)”

“Council by way of resolution and from time to time appoint a Deputy Mayor, in accordance with this section, who shall be a Member and who shall act in the place of the Mayor when the Mayor is absent or refuses to act or the office is vacant and while so acting, such Deputy Mayor shall have all the powers and duties of the Mayor.”

During its last term of office, Council commenced a practice of alternating the position of Deputy Mayor amongst Members of Council on an annual, rotating basis; thereby allowing each Member to serve as Deputy Mayor for one (1) year during Council's entire four (4) year term. Council may

FINANCIAL CONSIDERATIONS:

There are no direct financial implications associated with the appointment of Members to the various agencies, boards and committees.

OTHERS CONSULTED:

- 1) Senior Leadership Team

ATTACHMENTS:

None.

Respectfully submitted by,

Approved by,

Meredith Kirkham
Deputy Clerk

William J. Kolasa
Chief Administrative Officer/Clerk



Memorandum

To: Mayor and Members of Council
From: W. Kolasa, Chief Administrative Officer/Clerk
Date: December 13, 2022
Re: Bill 39 - Better Municipal Governance Act, 2022

During Council's orientation sessions, it was noted that between July 11, 2018, and November 1, 2022, the Province of Ontario introduced 462 new pieces of legislation, many of which had the effect of changing the laws under which Ontario municipalities operate.

More recently, the Province introduced two new Acts:

- Bill 23 – the *More Homes Built Faster Act, 2022* (1st Reading: October 25, 2022, 2nd Reading: October 31, 2022, 3rd Reading: November 28, 2022, Royal Assent: November 28, 2022); and
- Bill 39 – the *Better Municipal Governance Act, 2022* (1st Reading: November 16, 2022, 2nd Reading: November 23, 2022, 3rd Reading: December 8, 2022, Royal Assent: December 8, 2022).

While Bill 23 will be the subject of a separate report from the Manager of Community and Development Services; the purpose of this memorandum is to provide an overview of the newly enacted *Better Municipal Governance Act, 2022* (hereinafter, “the Act”, a copy of which is attached to this Memorandum).

The Act serves to amend the *City of Toronto Act, 2006*; the *Municipal Act, 2001*; and the *Duffins Rouge Agricultural Preserve Repeal Act, 2022*. From a municipal perspective, the Act will address three broad subject areas:

“Stronger” Mayor Powers in Designated Municipalities

One function of the Act is to provide the mayor of the City of Toronto and the mayors of other “designated municipalities” the authority to propose municipal by-laws to advance prescribed provincial priorities (such as housing initiatives) and require councils to pass the by-laws if more than one-third of the members of council vote in favour of the by-law. Under normal circumstances, a by-law is deemed passed only if a majority (ie. more than half) of members of council vote in favour of the by-law. This new framework for advancing provincial priorities builds on the provisions of the recently passed [Bill 3 – the Strong Mayors, Building Homes Act, 2022](#) (1st Reading: August 10, 2022, 2nd Reading: August 18, 2022, 3rd Reading: September 8, 2022, Royal Assent: September 8, 2022).

Evolving Regional Capabilities

Another function of the Act is to permit the Minister of Municipal Affairs and Housing to appoint the regional heads of office for the Councils of Niagara, Peel and York Regions. In Niagara, the regional chair was previously elected by the members of the Regional Council. The provincially-appointed regional chairs would then also be tasked with working with provincially-appointed facilitators to determine how best to extend the “Strong Mayor” powers to their respective municipalities.

Additionally, facilitators would assess select regional governments (Niagara, Durham, Halton, Peel, Waterloo and York) to review upper tier and lower tier roles and responsibilities in order to effect changes to improve efficiencies and ensure that municipalities can meet provincial housing targets.

Repealing the *Duffins Rouge Agricultural Preserve Act, 2005*

A final component of the Act would repeal the *Duffins Rouge Agricultural Preserve Act, 2005*, in order to remove certain barriers to housing development in the City of Pickering (Durham Region) and to facilitate provincial proposals to amend the Greenbelt.

At this time, with the Act receiving Royal Assent only on December 8, 2022: there remain a variety of uncertainties regarding the impacts on the Township moving forward. Staff are continuing to liaise with staff in other local area municipalities and the Region of Niagara to ensure that Township needs are appropriately addressed as the implementation of the Act evolves. Additional information will be shared with Council as it becomes available.

Legislative
Assembly
of Ontario



Assemblée
législative
de l'Ontario

1ST SESSION, 43RD LEGISLATURE, ONTARIO
1 CHARLES III, 2022

Bill 39

(Chapter 24 of the Statutes of Ontario, 2022)

An Act to amend the City of Toronto Act, 2006 and the Municipal Act, 2001 and to enact the Duffins Rouge Agricultural Preserve Repeal Act, 2022

The Hon. S. Clark

Minister of Municipal Affairs and Housing

1st Reading November 16, 2022

2nd Reading November 23, 2022

3rd Reading December 8, 2022

Royal Assent December 8, 2022



EXPLANATORY NOTE

*This Explanatory Note was written as a reader's aid to Bill 39 and does not form part of the law.
Bill 39 has been enacted as Chapter 24 of the Statutes of Ontario, 2022.*

SCHEDULE 1 CITY OF TORONTO ACT, 2006

The Schedule amends the *City of Toronto Act, 2006* by adding section 226.9.1. Section 226.9.1 provides that if the head of council is of the opinion that a by-law could potentially advance a prescribed provincial priority, the head of council may propose the by-law and require city council to consider and vote on the proposed by-law at a meeting. The by-law is passed if more than one third of the members of city council vote in favour of the by-law.

SCHEDULE 2 DUFFINS ROUGE AGRICULTURAL PRESERVE REPEAL ACT, 2022

The Schedule enacts the new *Duffins Rouge Agricultural Preserve Repeal Act, 2022*, which repeals the older *Duffins Rouge Agricultural Preserve Act, 2005*. The new Act provides that the easements and covenants that were described in the repealed Act are deemed to have the legal effect they would have had if the repealed Act had never been in effect. The new Act also provides for the interaction of those covenants and easements with certain provisions of the *Conservation Land Act*. Related causes of actions and proceedings are prohibited.

SCHEDULE 3 MUNICIPAL ACT, 2001

The Schedule amends the *Municipal Act, 2001* by adding section 218.3, which authorizes the Minister of Municipal Affairs and Housing to appoint, by order, for the term of office beginning in 2022, the head of council of The Regional Municipality of Niagara, The Regional Municipality of Peel and The Regional Municipality of York. A new section 218.4 requires the Minister to give notice of such order and a new section 218.5 authorizes the Minister to make regulations relating to the appointment of a head of council under section 218.3.

A new section 284.11.1 of the Act provides that if a head of council of a designated municipality is of the opinion that a by-law could potentially advance a prescribed provincial priority, the head of council may propose the by-law and require the council to consider and vote on the proposed by-law at a meeting. The by-law is passed if more than one third of the members of council vote in favour of the by-law.

**An Act to amend the City of Toronto Act, 2006 and the Municipal Act, 2001
and to enact the Duffins Rouge Agricultural Preserve Repeal Act, 2022**

CONTENTS

1.	Contents of this Act
2.	Commencement
3.	Short title
Schedule 1	City of Toronto Act, 2006
Schedule 2	Duffins Rouge Agricultural Preserve Repeal Act, 2022
Schedule 3	Municipal Act, 2001

His Majesty, by and with the advice and consent of the Legislative Assembly of the Province of Ontario, enacts as follows:

Contents of this Act

1 This Act consists of this section, sections 2 and 3 and the Schedules to this Act.

Commencement

2 (1) Except as otherwise provided in this section, this Act comes into force on the day it receives Royal Assent.

(2) The Schedules to this Act come into force as provided in each Schedule.

(3) If a Schedule to this Act provides that any of its provisions are to come into force on a day to be named by proclamation of the Lieutenant Governor, a proclamation may apply to one or more of those provisions, and proclamations may be issued at different times with respect to any of those provisions.

Short title

3 The short title of this Act is the *Better Municipal Governance Act, 2022*.

**SCHEDULE 1
CITY OF TORONTO ACT, 2006**

1 Paragraph 3 of subsection 159 (1) of the *City of Toronto Act, 2006* is amended by striking out “sections 5, 5.1 and 5.2” and substituting “sections 5, 5.1, 5.2 and 5.3”.

2 Section 160.1 of the Act is amended by striking out “section 5, 5.1 or 5.2” wherever it appears and substituting in each case “section 5, 5.1, 5.2 or 5.3”.

3 Section 226.7 of the Act is amended by striking out “sections 226.8 and 226.9” wherever it appears and substituting in each case “sections 226.8, 226.9 and 226.9.1”.

4 The French version of subsection 226.8 (1) of the Act is amended by striking out “pourrait” and substituting “pourrait potentiellement”.

5 The French version of section 226.9 of the Act is amended by striking out “pourrait” wherever it appears and substituting in each case “pourrait potentiellement”.

6 The Act is amended by adding the following section:

Powers re by-laws

226.9.1 (1) This section applies with respect to by-laws under,

- (a) this Act and the regulations, other than under any prescribed section;
- (b) the *Planning Act* and its regulations, other than under any prescribed section; and
- (c) any other prescribed Act or regulation or prescribed section of an Act or regulation.

Procedure

(2) Despite any procedure by-law passed by the City under subsection 189 (2) and subject to any prescribed requirements, if the head of council is of the opinion that a by-law could potentially advance a prescribed provincial priority, the head of council may propose the by-law to city council and require city council to consider and vote on the proposed by-law at a meeting.

Same

(3) The head of council shall, in accordance with the regulations, provide to the clerk and to each member of city council,

- (a) a copy of any by-law proposed under subsection (2); and
- (b) the head of council’s reasons for the proposal.

More than one-third vote required

(4) Despite any procedure by-law passed by the City under subsection 189 (2) and despite subsection 194 (3), a by-law described in subsection (2) is passed if more than one third of the members of council vote in favour of the by-law.

Head of council may vote

(5) For greater certainty, the head of council may vote as a member of city council in a vote to pass a by-law described in subsection (2).

7 Clause 226.15 (1) (c) of the Act is amended by striking out “the head of council is required to follow in exercising a power or performing a duty under” and substituting “the head of council, city council and the clerk are required to follow in connection with”.

Commencement

8 This Schedule comes into force on a day to be named by proclamation of the Lieutenant Governor.

SCHEDULE 2 DUFFINS ROUGE AGRICULTURAL PRESERVE REPEAL ACT, 2022

Definition

1 In this Act,

“DRAPA easement or covenant” means an easement or covenant that is described in subsection 2 (1) of the *Duffins Rouge Agricultural Preserve Act, 2005*, as it read immediately before its repeal.

Effect of repeal on DRAPA easement or covenant

2 Every DRAPA easement or covenant is deemed to have the legal effect it would have had if subsection 2 (1) of the *Duffins Rouge Agricultural Preserve Act, 2005* had never been in effect.

Interaction with Conservation Land Act

3 (1) Subsections 3 (4.2), (4.3) and (4.4) of the *Conservation Land Act* do not apply to a DRAPA easement or covenant.

Notices

(2) Any notice that was registered under the *Conservation Land Act* in accordance with subsection 2 (2) of the *Duffins Rouge Agricultural Preserve Act, 2005*, before the day the *Duffins Rouge Agricultural Preserve Act, 2005* was repealed, against land affected by a DRAPA easement or covenant is of no effect as of the day this section comes into force.

No cause of action

4 (1) No cause of action arises as a direct or indirect result of,

- (a) the enactment, amendment or repeal of any provision of this Act or of the *Duffins Rouge Agricultural Preserve Act, 2005*;
- (b) the making, amending or revoking of any provision of a regulation under this Act; or
- (c) anything done or not done in accordance with,
 - (i) any provision of this Act or of the *Duffins Rouge Agricultural Preserve Act, 2005*, or
 - (ii) any provision of a regulation made under this Act.

Proceedings barred

(2) No proceeding, including but not limited to any proceeding for a remedy in contract, restitution, tort, misfeasance, bad faith, trust or fiduciary obligation, and any remedy under any statute, that is based on a cause of action described in subsection (1) may be brought or maintained against any person, including,

- (a) the Crown and its current and former employees, officers and agents;
- (b) current and former members of the Executive Council;
- (c) conservation bodies as defined in subsection 3 (1) of the *Conservation Land Act* and their current and former employees, officers and agents.

Application of subs. (2)

(3) Subject to subsection (6), subsection (2) applies to any proceeding, including any court, administrative or arbitral proceeding, claiming any remedy or relief, including specific performance, injunction, declaratory relief, any form of compensation or damages or any other remedy or relief, and includes a proceeding to enforce a judgment or order made by a court or tribunal outside of Canada.

Temporal application

(4) Subsections (1) and (2) apply regardless of whether the cause of action on which the proceeding is purportedly based arose before or after the day this section comes into force.

Proceedings set aside

(5) Any proceeding referred to in subsection (2) that was commenced before the day this section comes into force shall be deemed to have been dismissed, without costs, on the day this section comes into force.

Exception — judicial review

(6) Subsections (1) and (2) do not apply to prevent an application for judicial review.

No expropriation or injurious affection

(7) Nothing referred to in subsection (1) constitutes an expropriation or injurious affection for the purposes of the *Expropriations Act* or otherwise at law.

Not entitled to be compensated

(8) Despite any other Act or law, no person is entitled to compensation for any loss or damages, including loss of revenues, loss of profit or loss of expected earnings or denial or reduction of compensation that would otherwise have been payable to any person, arising from anything referred to in subsection (1).

Regulations

5 The Lieutenant Governor in Council may make regulations governing any transitional matters that may arise in connection with the enactment of this Act or the repeal of the *Duffins Rouge Agricultural Preserve Act, 2005*, which may include the impact of the enactment or repeal on a DRAPA easement or covenant.

6 The *Duffins Rouge Agricultural Preserve Act, 2005* is repealed.

Commencement

7 The Act set out in this Schedule comes into force on a day to be named by proclamation of the Lieutenant Governor.

Short title

8 The short title of the Act set out in this Schedule is the *Duffins Rouge Agricultural Preserve Repeal Act, 2022*.

SCHEDULE 3 MUNICIPAL ACT, 2001

1 The *Municipal Act, 2001* is amended by adding the following sections:

Head of council, appointment by Minister

218.3 (1) For the term of office beginning in 2022, the Minister may, by order, appoint and fix the duration of the term of the head of council of the following municipalities:

1. The Regional Municipality of Niagara.
2. The Regional Municipality of Peel.
3. The Regional Municipality of York.

Effect of order

(2) An order made under subsection (1) takes effect on the date and at the time specified in the order.

Previous appointment ceases to have effect

(3) If the Minister makes an order appointing a head of council under subsection (1) and, on the day the order takes effect, a head of council has been appointed by the members of council, the appointment by the members of the council ceases to have effect as of that day.

Deemed to be member of council

(4) A person appointed by the Minister under subsection (1) to be the head of council is deemed to also be a member of council.

Notice of order

218.4 If the Minister makes an order under subsection 218.3 (1), the Minister shall,

- (a) publish the order in *The Ontario Gazette*; and
- (b) as soon as possible after the order is made, provide a copy of the order to the municipality to which it relates.

Regulations

218.5 (1) The Minister may make regulations,

- (a) governing the appointment of a head of council under subsection 218.3 (1), including,
 - (i) prescribing rules to facilitate the transition of the head of council appointed under subsection 218.3 (1);
 - (ii) prescribing powers and duties of the head of council appointed under subsection 218.3 (1);
- (b) providing for modifications to this Act, the *Municipal Conflict of Interest Act* or the *Municipal Elections Act, 1996*, or the regulations made under any of those Acts, as are necessary for the implementation of section 218.3 of this Act or any regulations made under clause (a) of this subsection.

Retroactivity

(2) A regulation made under subsection (1) is, if it so provides, effective with reference to a period before it was filed, but not earlier than six months before the date the regulation was made.

Conflict, regulation made under cl. (1) (b)

(3) A regulation made under clause (1) (b) prevails to the extent of a conflict between a provision of the regulation and any provision of,

- (a) this Act or a regulation made under it; or
- (b) the *Municipal Conflict of Interest Act* or the *Municipal Elections Act, 1996* or of a regulation made under those Acts.

Same

(4) The conflict provision in subsection (3) prevails over any other conflict provision in the this Act, the *Municipal Conflict of Interest Act* or the *Municipal Elections Act, 1996*.

Power to change method for selecting head of council

218.6 Nothing in section 218.3 limits the power of a municipality referred to in subsection 218.3 (1) to change the method of selecting its head of council under section 218 for any regular election after 2022.

2 Subsection 221 (1) of the Act is amended by striking out “218.1 or 220” wherever it appears and substituting in each case “218.1, 218.3 or 220”.

3 Paragraph 3 of subsection 223.3 (1) of the Act is amended by striking out “sections 5, 5.1 and 5.2” and substituting “sections 5, 5.1, 5.2 and 5.3”.

4 Section 223.4.1 of the Act is amended by striking out “section 5, 5.1 or 5.2” wherever it appears and substituting in each case “section 5, 5.1, 5.2 or 5.3”.

5 (1) Subsection 284.9 (1) of the Act is amended by striking out “sections 284.10 and 284.11” at the end and substituting “sections 284.10, 284.11 and 284.11.1”.

(2) Subsection 284.9 (2) of the Act is amended by striking out “sections 284.10 and 284.11” and substituting “sections 284.10, 284.11 and 284.11.1”.

6 The French version of subsection 284.10 (1) of the Act is amended by striking out “pourrait” and substituting “pourrait potentiellement”.

7 The French version of section 284.11 of the Act is amended by striking out “pourrait” wherever it appears and substituting in each case “pourrait potentiellement”.

8 The Act is amended by adding the following section:

Powers re by-laws

284.11.1 (1) This section applies with respect to by-laws under,

- (a) this Act and the regulations, other than under any prescribed section;
- (b) the *Planning Act* and its regulations, other than under any prescribed section; and
- (c) any other prescribed Act or regulation or prescribed section of an Act or regulation.

Procedure

(2) Despite any procedure by-law passed by the municipality under subsection 238 (2) and subject to any prescribed requirements, if the head of council is of the opinion that a by-law could potentially advance a prescribed provincial priority, the head of council may propose the by-law to the council and require the council to consider and vote on the proposed by-law at a meeting.

Same

(3) The head of council shall, in accordance with the regulations, provide to the clerk and to each member of council,

- (a) a copy of any by-law proposed under subsection (2); and
- (b) the head of council’s reasons for the proposal.

More than one-third vote required

(4) Despite any procedure by-law passed by the municipality under subsection 238 (2) and despite section 245, a by-law described in subsection (2) is passed if more than one third of the members of council vote in favour of the by-law.

Head of council may vote

(5) For greater certainty, the head of council may vote as a member of council in a vote to pass a by-law described in subsection (2).

9 Clause 284.17 (1) (d) of the Act is amended by striking out “a head of council is required to follow in exercising a power or performing a duty under” and substituting “a head of council, a council and the clerk are required to follow in connection with”.

Commencement

10 This Schedule comes into force on a day to be named by proclamation of the Lieutenant Governor.

TO: Mayor Grant & Members of Council

FROM: Lindsay Earl, Manager of Community & Development Services

DATE OF MEETING: December 13, 2022

SUBJECT: **More Homes Built Faster Act, 2022 (Bill 23)**

RECOMMENDATION(S):

THAT Community & Development Services Staff Report CDS-004/2022 be received for information.

EXECUTIVE SUMMARY:

The Province's Bill 23, *More Homes Built Faster Act, 2022*, provides a framework to address the key issue of providing more housing faster through a number of measures. These measures do not come without changes to current municipal systems and impact to the financial position of the municipality. The Township will need to assess these changes over the coming months and pivot our current practices and expectations to make sure we comply with the Act and can assist in the overall goal of providing more homes faster.

This new legislation has modified the current planning process, the current levels of protection of natural and cultural heritage and the current financial model of growth pays for growth that has historically been utilized. The expedited timing of the passing of the Bill has limited the ability of the Township and other stakeholders to fully comprehend the implications and unintended consequences of the proposed changes which may include:

- A significant loss of incoming municipal funds through Development Charges and Parkland Dedication which will, in turn, place greater burden on the Township to fund infrastructure projects that are necessary to support future residential development. This loss of revenue will need to be made up by an increase in tax levy, and
- Increased cost to the taxpayer due to the need for additional Staff or outside consulting services to perform the review functions previously provided by technical staff at the Niagara Peninsula Conservation Authority (NPCA) and Planning Staff at the Region.

This is a large piece of legislation, and clarification is needed on some sections of this legislation so that the Township can truly assess the ultimate impact on its planning process and on its ability to fund current and future infrastructure and planning services needs.

BACKGROUND:

On October 25, 2022, the Province introduced Bill 23, More Homes Built Faster Act, 2022 with associated regulations and legislative changes. Bill 23 includes amendments to multiple statutes including: the *Municipal Act*, the *Conservation Authorities Act*, *Development Charges Act*, *Ontario Heritage Act*, *Ontario Land Tribunal Act* and the *Planning Act* with the stated intent to create conditions that will result in the construction of more new residential units, faster, to address the housing supply crisis.

At an expedited rate, Bill 23 received Royal Assent on November 28, 2022. This report highlights the changes that were introduced and identifies the amendments that are currently in effect for the *Development Charges Act* (D.C.A.), as well as the *Planning Act*.

As Bill 23 will fundamentally change how land use planning approvals are processed, approved and implemented in Ontario, Staff have concerns and reservations as to the increased costs passed onto the Township associated with this legislation as well as Bill 109 impacts. Staff note that *Planning Act* Changes from Bill 109 - *More Homes for Everyone Act, 2022*, is intended to streamline development approvals regarding all types of planning applications.

For the Township, the changes to the *Planning Act* impact primarily the site plan control process as well as the development application process; with shortened approval timelines and refunds of development application fees if a decision is not made within the specified timeframe. As of recent, the Province has delayed the implementation of development application refund requirements set out in Bill 109 by six months, from January 1, 2023 to July 1, 2023, which will give the Township some time to implement the policy changes to the Official Plan as necessary. A separate report will be brought to Council to implement Bill 109 requirements at a later date.

OPTIONS/DISCUSSION:

Through Bill 23, the Province has outlined a number of changes to several Provincial Acts to support their efforts to accelerate the provision of more housing across the Province. Intended to streamline the process to build new homes, these changes will also have an impact on the Township's environmental, social and fiscal health with the downloading of responsibilities related to growth. They are as follows;

Regional Planning: Bill 23, has removed planning policy and approval responsibilities from the Niagara Region, who historically was responsible for the review and approval of Official Plans and major Official Plan amendments for the lower-tier municipalities. The approval of Official Plans or amendments to Plans is no longer required from the Region, and instead, will be the responsibility of the Minister of Municipal Affairs and Housing. Further details are outstanding at this time regarding which documents will require direct Ministerial approval.

The Province granted approval to the Region's new Official Plan on November 4, 2023. It is not subject to appeals and is in effect. The Township will now be required to

assume those policies as the Township's Official Plan until the Township's Plan is updated. Staff will be impacted as we will now be required to include a review of the Region's OP, in lieu of Regional staff participation, in addition to the Township's own Planning documents through each application review and report. This will add additional workload to an already lean planning division and this will need to be considered as part of future budget deliberations.

Regional oversight of development applications regarding overarching and cross-jurisdictional issues will also be affected (i.e., environmental policies). The Township will need to assume the responsibilities of Provincial review, previously prepared by Regional Staff, once again affecting Township staffing levels and review timelines.

At a Provincial Plan level, the Province is initiating a review to integrate the Places to Grow Plan: Growth Plan for the Greater Golden Horseshoe and the Provincial Policy Statement. The impact of an integrated Provincial Plan on the Township's Planning documents will need to be reviewed and implemented at a future date.

Further details regarding the impact of the Regional changes are needed to better understand the full implications of Bill 23. Senior staff from all Local Area Municipalities are currently working together through this process to determine potential shared service agreements for future Regional service delivery as an option.

Environmental Review: Under Bill 23, the NPCA will no longer review and provide comments on development applications or supporting studies outside the protection of hazard lands, pollution or the conservation of land. The Ontario Wetland Evaluation System is removed from Ministry of Natural Resources and Forestry (MNRF) review and classification and will now be the responsibility of the developer's environmental consultant. The Township will be tasked with ensuring the proper review and protection of significant natural heritage features, how the changes will affect water and air quality and the impact on climate change as a whole. The review of natural heritage is currently provided by technical experts at the NPCA, MNRF and the Region. As such, the Township will need to seek additional staffing or procure qualified consultants to ensure that proper review is performed through the development process.

Public Participation and Appeals: Under Bill 23 the public's right to appeal has been removed – only applicants, the Township, certain public bodies and the Minister may appeal a decision under the Planning Act, which is limited to minor variances and consent (severance) decisions. As a consequence, the Committee of Adjustment will need to be more proactive in considering the potential concerns of citizens in its decision-making process. The Bill also contains wording that would dismiss existing appeals that have not yet been scheduled for a hearing at the Ontario Land Tribunal (OLT) as of October 25, 2022. This change may affect some of the Township files currently under appeal.

In addition, public meetings are no longer required for plans of subdivisions. Reduced public participation will place more responsibility on Council to anticipate and mitigate resident's concerns through subdivision review and approval.

The Ontario Land Tribunal (OLT): The OLT will have increased powers to award costs against an unsuccessful appellant and dismiss appeals without a full hearing where an appellant has contributed to undue delay. This would serve to discourage appeals based on potential financial consequences and would give the advantage to those who can afford the financial risk. There may also be a cost to the Township where the Township is not in support of a developer's choice of parkland location - this is furthered discussed in the Parkland Dedication paragraph below.

Parkland Dedication: Parkland Dedication policies in our Official Plan is a tool used by the Township to secure public parkland which is triggered when new development occurs. Dedication can take the form of physical land or cash-in-lieu of land.

Bill 23 reduces the amount of parkland and cash-in-lieu of parkland received by the Township through development approvals. The decrease of parkland available to any neighbourhood can reduce the quality of life for the residents in the Township. In addition, parkland rates to be applied to development would remain in place for 2 years after approval, after which the rate that applies at the time of building permit issues will be applied. The impact of the frozen rates would vary depending on rising or lowering of property values over that period of time.

The Bill also allows a developer to identify the specific location of parklands within their development plan areas. As a result, the Township may be forced to accept and maintain parkland that is not consistent with the municipality's direction, may be encumbered by easements, or may not properly serve all residents in the community. The Township's refusal to accept parkland could result in an appeal to the OLT and an award of costs against the Township if the developer's appeal is successful.

The Township will now be required to spend or allocate 60% of its cash-in-lieu funds at the beginning of each year, starting in 2023 and on an annual basis. This part of the legislation puts pressure on the Township as the minimal rates collected annually would not allow for a robust investment in providing adequate parkland uses.

Township staff have recently been working with a consultant on the development of a new draft Parkland Dedication By-law, which will have to be put on hold as Bill 23 changes require the completion of a Parks Plan prior to the passing of any future parkland dedication by-law. Currently, the Township does not have a Parks Plan in effect. As such, these additional requirements will put a strain on Township's resources and financial considerations and would force changes to workload priorities in order to address these new requirements.

Development Charges Act: The Province is aiming to reduce housing costs by reducing municipal fees and charges. This bill freezes, reduces and exempts Development Charges (DCs) and Parkland Dedication Fees for prescribed developments. The changes to the collection of Development Charges include exemptions on a range of new units; a phasing of DC rate increases, reductions in DCs for affordable housing and a requirement to spend or allocate at least 60% of Roads DC reserves and Parkland cash-in-lieu annually. All of these changes will have an impact on the financial operations of the Township as discussed below.

FINANCIAL CONSIDERATIONS:

As DCs are based on the costs of providing infrastructure and services, the source of income for the infrastructure and services required for the amount of development set out by the Province is unknown. Without Provincial funding to cover these costs, the Township may need to look at the tax levy to fund new development, which means that growth will not pay for growth and the entire community will bear the cost of growth-related investments. The “Housing Accelerator Fund” – might present an opportunity to compensate municipalities to pay for critical growth-related infrastructure, but details regarding eligibility are not available at this time.

Operational Implications: The changes proposed through Bill 23 will have an impact on processes and staffing in several departments within the Township including those related to:

- The increased Planning review functions (removal of Regional and NPCA functions) and decreased review timelines (presented through Bill 109) will require either additional Planning staff to deal with the changes or additional funding for consulting services or shared service agreements (or a combination of the above),
- The increased rate of building permit review, inspections and issuance in the Building Department,
- The requirement for legal agreements for all development that includes exemptions from Development Charges, and
- The administration and updates of Development Charges, phasing of charges, interest caps through the Finance Department.
- An increase in our Operations division involvement and review functions of allocating DC's and Parkland Dedication reserves and project planning.

Financial Implications/Budget Impact: It is anticipated that the implementation of Bill 23 and Bill 109 will require the Township to address staffing needs on an anticipatory basis through its operational budget to ensure that service delivery can be provided at the rate envisioned by the Province. The Township will also need to consider the impacts of decreased funds through Development Charge exemptions and reductions and decreased parkland rates. Without Provincial funding, the Township will need to compensate for the lost income through an increased tax levy to fund planning studies (such as the New Official Plan, Secondary Plans, Master Parks Plan etc.), services and new infrastructure that is necessary to meet housing targets.

OTHERS CONSULTED:

- 1) Strategic Leadership Team

ATTACHMENTS:

Respectfully submitted by,

Lindsay Earl
Manager of Community & Development Services

Approved by,

William J. Kolasa
Chief Administrative Officer/Clerk

FIRE STAFF REPORT

FSR-010/2022

TO: Mayor Grant & Members of Council
FROM: M. Alcock, Fire Chief/CEMC
DATE OF MEETING: December 13, 2022
SUBJECT: 2022 Third Quarter Fire & Emergency Services Review

RECOMMENDATION(S):

THAT Fire Staff Report FSR-010/2022 respecting 2022 Third Quarter Fire & Emergency Services Review be received for information.

EXECUTIVE SUMMARY:

This report includes a summary of Fire Department activity within the Township of Wainfleet for the Third Quarter of 2022 (July-September).

ADMINISTRATION

Joint Health & Safety Committee

The JHSC met on July 13, 2022. The agenda included ongoing review of department Operational Guidelines (OGs) including; Personal Protective Equipment, Respiratory Protection Program, Firefighter Accountability & Entry Control.

Firefighter Incident/Injury summary, and personal protective equipment needs. The JHSC conducted follow up interviews with the firefighters from earlier incidents and at this time there are no recommended operational changes.

The JHSC next meeting is scheduled for October 12, 2022.

Mental Health & Wellness

Mental Health & Wellness working group, which includes members of the Fire Services Leadership Team, Peer Support and Critical Incident Stress Management Team, Joint Health & Safety Committee, as well as the fire services Chaplain and the Mental Health professional, met on July 13, 2022 to review the revisions to the Mental Health & Wellness Action Plan (MHWAP) and conduct a pilot of the Mental Health & Wellness Screening Tool.

There was a 90% completion rate of the tool, with 100% of those who responded indicating that access to the tool was secure and smooth, completion of the screening was easy, and that the tool was asking the correct questions related to first-responders mental health. The results of this pilot provided ample feedback to make final revisions to the program before rollout to the entire department.

The Mental Health & Wellness Action Plan includes items such as; Post Traumatic Stress Disorder (PTSD) prevention policy and plan, Mental Health Anti Stigma Policy, Reporting of Exposures Operational Guidelines with Post Critical Incident Screening, Quarterly MH&W screenings, Substance Misuse Service & Care Pathways, WSIB Service & Care Pathway, Peer Support & Critical Incident Stress Team training, Employee & Family Assistance Plan, Fire Service Chaplain & Psychotherapist services, and early access to intervention & care services.

On September 6, 2022, the MHWAP was presented to all personnel, including presentations by the Rapid Access to Addictions Medicine (RAAM) clinic. Rollout of the first quarterly screening will occur in November, which aligns with "Movember".

Recruitment

The Recruit class of 2022 completed the recruit training program and NFPA certification testing on June 25, 2022. They were assigned to their stations, began responding to emergencies and attending regular training events on July 1, 2022.

September 1, 2022, marks the beginning the 2023 recruitment campaign, with various postings being issued utilizing various mediums including; digital signage, posters, banners, social media posts and videos.

FIRE PREVENTION & PUBLIC EDUCATION

PUBLIC EDUCATION

WFES members have been able to attend various public events, such as:

Date	Event
July 1, 2022	Canada Day
July 4, 2022	Smoke Alarm Blitz
August 16, 2022	Summer Games
September 3, 2022	Long Beach Country Club
September 23, 2022	Wainfleet Fall Fair
September 24, 2022	Wainfleet Fall Fair Demolition Derby



FIRE PREVENTION, INSPECTIONS, ENFORCEMENT, INVESTIGATIONS

Date	Property Type	Reason	Result
Jul. 9, 2022	Public	Open Air Burning Complaint	Abandoned fire on Public Beach Fire Extinguished by FD
Jul. 9, 2022	Public	Open Air Burning Complaint	Abandoned fire on Unopened Road Allowance – Fire Extinguished by FD
Jul. 13, 2022	Residential	Open Air Burning Complaint	Education of homeowner
Jul. 13, 2022	Residential	Post Incident Follow Up	Issues Found – Orders issued to property owner
Jul. 13, 2022	Residential	Complaint - Tenant	Issues Found – Orders issued to property owner
Aug. 6, 2022	Public	Open Air Burning Complaint	Fire on Public Beach Fire Extinguished by occupants Education provided to occupants
Aug. 15, 2022	Residential	Open Air Burning Complaint	Abandoned fire on property Fire extinguished by FD Follow-up required
Aug. 17, 2022	Public	Open Air Burning Complaint	Abandoned fire on Public Beach Fire Extinguished by FD
Aug. 18, 2022	Residential	Request	Inspection - Issues found – Recommendations provided for compliance prior to occupancy
Sep. 7, 2022	Residential	Post Incident Investigation	Investigation with NRP into area of Origin & determination of Cause
Sep. 23, 2022	Residential/ Care	Request - Licensing	Inspection - No issues found – Education & Recommendations provided
Sep. 23, 2022	Residential	Open Air Burning Complaint	No issues found
Sep. 25, 2022	Residential	Request	Issues found – FD supplied and installed Smoke/CO alarm Fire Code Education provided to homeowner

Residential Smoke & Carbon Monoxide Alarm Program

Between July 1 & July 31, 2022 all Stations conducted a Smoke/Carbon Monoxide Alarm and Home Fire Safety door-to-door campaign. This campaign was an information/amnesty event whereby non-compliance would not result in orders or provincial offence charges. Firefighters attended 64 properties and were able to complete 44 inspections (Chart 1). Of the 44 properties where inspections were completed, 27 properties were fully compliant with the remaining 17 properties having some fire code non-compliance issues (Chart 2). Reasons for non-compliance were broken into 5 categories and sorted by Alarm type (Table 1). The results also indicate that the most common issue being expired alarms. As a result of the 2019 Residential Smoke & Carbon Monoxide Alarm Program, seasonal dwellings along the lakeshore areas were the focus of the 2022 campaign. The purpose of collecting and analysing these results assists us in developing Public Education and Fire Prevention strategies and priorities moving into 2023.

2022 Residential Smoke & Carbon Monoxide Inspections 64 Properties visted

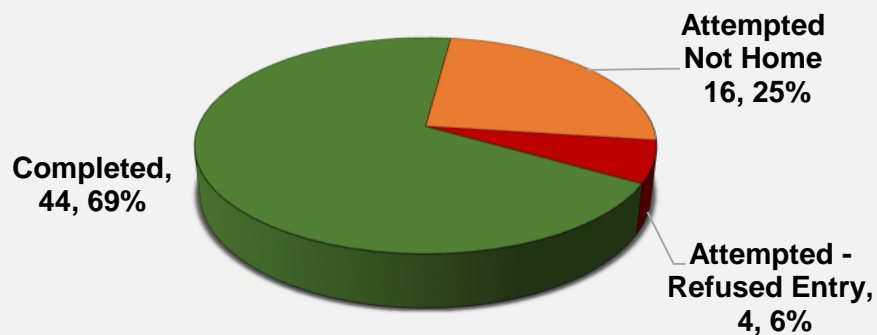


Chart 1

2022 Residential Smoke & Carbon Monoxide Inspections 44 inspection completed

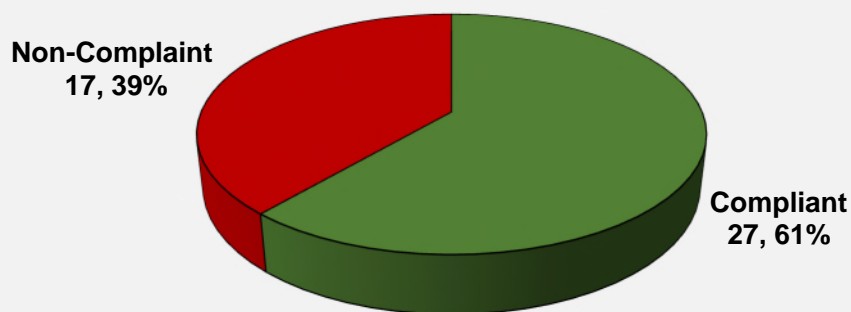


Chart 2

Non-Compliant Expired			Non-Compliant Improper Location			Non-Compliant Not Installed			Non-Compliant Disabled		
Smoke	CO	Both	Smoke	CO	Both	Smoke	CO	Both	Smoke	CO	Both
2	0	8	0	0	2	0	0	5	0	0	0
12%	0%	47%	0%	0%	12%	0%	0%	29%	0%	0%	0%

Table 1

OPERATIONS

Automatic/Mutual Aid

The Automatic Aid agreement with Port Colborne went live on February 22, 2022. The Automatic Aid has been used by both departments since its activation.

On January 24, 2022, Niagara Region fully closed the bridge on Regional Road 45 at Oswego Creek to all vehicular traffic, including emergency vehicles. As of the date of this report, the closure still remains in place.

Should WFES be called to any property impacted by the closure, Dispatch will automatically notify Haldimand County, who will provide a Pumper and a Tanker from Station 6 (Canborough) and a Tanker from Station 9 (Dunnville).

Automatic/Mutual Aid Activations

Date	Aid Received or Provided	Municipality	Reason
July 10, 2022	Provided	Port Colborne	Residential Structure Fire
July 26, 2022	Provided	Port Colborne	Garage Fire
July 28, 2022	Provided	Port Colborne	Institutional (School) Structure Fire
August 4, 2022	Provided	Port Colborne	Assembly (Community) Structure Fire
August 5, 2022	Provided	Port Colborne	Residential Structure Fire
August 13, 2022	Provided	Port Colborne	Large Trailer Fire
August 21, 2022	Provided	Port Colborne	Residential Structure Fire

Emergency Responses (3rd Quarter)

Number	Date	Response Type Description	Address
22-095	2022-07-01	Medical Assist - Seizure	Lakeshore Rd, Wainfleet
22-096	2022-07-01	Motor Vehicle Collision	Highway 3, Wainfleet
22-097	2022-07-03	Activated Alarm - Equipment Malfunction	Lakeshore Rd, Wainfleet
22-098	2022-07-03	Open Air Burning Complaint	Highway 3, Wainfleet
22-099	2022-07-03	Activated Alarm - Equipment Malfunction	Lakeshore Rd, Wainfleet
22-100	2022-07-05	Medical Assist - Cardiac	Bellevue Beach Rd, Wainfleet
22-101	2022-07-05	Medical Assist - Cardiac	Bellevue Beach Rd, Wainfleet
22-102	2022-07-07	Medical Assist - VSA	Misener Rd, Wainfleet
22-103	2022-07-09	Open Air Burning Complaint	Morgans Point Rd, Wainfleet
22-104	2022-07-09	Open Air Burning Complaint	Clarendon St W, Wainfleet
22-105	2022-07-10	Medical Assist - Alcohol or Drug related	Regional Road 45, Wainfleet
22-106	2022-07-10	Medical Assist - Extreme Fall	Burnaby Rd, Wainfleet
22-107	2022-07-10	Automatic Aid - Call Cancelled on Route	Maple Street, Port Colborne
22-108	2022-07-13	Open Air Burning Complaint	Lakeshore Rd, Wainfleet
22-109	2022-07-13	Vehicle Collision	Harbourview Rd, Wainfleet
22-110	2022-07-13	Automatic Aid - Call Cancelled on Route	Lakeshore Rd, Port Colborne
22-111	2022-07-14	Medical Assist - VSA	Schooley Rd, Wainfleet
22-112	2022-07-19	Vehicle Collision	Highway 3, Wainfleet
22-113	2022-07-19	Vehicle Collision	Station Rd, Wainfleet
22-114	2022-07-23	Vehicle Collision	Forks Rd, Wainfleet

22-115	2022-07-26	Automatic Aid - Call cancelled On Route	Oakwood Street, Port Colborne
22-116	2022-07-27	Activated Alarm - Accidental Activation	Regional Road 27, Wainfleet
22-117	2022-07-28	Automatic Aid – Structure Fire	Janet Street, Port Colborne

Number	Date	Response Type Description	Address
22-118	2022-07-28	CO False Alarm - Equipment Malfunction	Highway 3, Wainfleet
22-119	2022-07-28	Water Rescue	Morgan's Point Rd, Wainfleet
22-120	2022-07-31	Motor Vehicle Collision	Highway 3, Wainfleet
22-121	2022-07-31	Medical Assist - VSA	Lakeshore Rd, Wainfleet
22-122	2022-08-04	Automatic Aid – Structure Fire	Davis Street, Port Colborne
22-123	2022-08-05	Automatic Aid - Residential Fire	Surf Loop, Port Colborne
22-124	2022-08-06	Grass Fire	Golf Course Rd, Wainfleet
22-125	2022-08-06	Water Rescue	Churchill Ave, Wainfleet
22-126	2022-08-06	Open Air Burning Complaint	Morgans Point Rd, Wainfleet
22-127	2022-08-10	Medical Assist - Respiratory Condition	Highway 3, Wainfleet
22-128	2022-08-10	Medical Assist - Respiratory Condition	Wellandport Rd, Wainfleet
22-129	2022-08-11	Motor Vehicle Collision	Feeder Rd W, Wainfleet
22-130	2022-08-12	Gas Leak - Natural Gas	Lakeshore Rd, Wainfleet
22-131	2022-08-13	Automatic Aid - Residential Fire	Sheba Rd, Port Colborne
22-132	2022-08-13	Gas Leak - Natural Gas	Lakeshore Rd,
22-133	2022-08-15	Medical Assist - VSA	Schooley Rd, Wainfleet
22-134	2022-08-15	Open Air Burning Complaint	Lakeshore Rd, Wainfleet
22-134SB	2022-08-16	Station Standby	Park St,
22-135	2022-08-17	Open Air Burning Complaint	Morgans Point Rd, Wainfleet
22-136	2022-08-21	Automatic Aid - Residential Fire	Wyldeewood Beach, Port Colborne
22-137	2022-08-23	Motor Vehicle Collision	Regional Road 27, Wainfleet
22-138	2022-08-26	Medical Assist - VSA	Regional Road 27, Wainfleet
22-139	2022-08-28	Medical Assist - Respiratory Condition	Johnson Rd, Wainfleet
22-140	2022-08-28	CO False Alarm - Accidental Activation	Highway 3, Wainfleet
22-141	2022-09-02	Medical Assist - VSA	Highway 3, Wainfleet
22-142	2022-09-02	Medical Assist - Accidental Injury	Lakeshore Rd, Wainfleet
22-143	2022-09-03	Medical Assist - Cardiac	Park St, Wainfleet
22-144	2022-09-03	Motor Vehicle Collision	Highway 3, Wainfleet
22-145	2022-09-04	Medical Assist - Hemorrhage	Regional Road 45, Wainfleet
22-146	2022-09-07	Fire - Residential Fire	Regional Road 27, Wainfleet
22-146A	2022-09-07	Fire Investigation	Regional Rd 27, Wainfleet
22-147	2022-09-09	Gas Leak - Natural Gas	Mill Race Rd, Wainfleet
22-148	2022-09-10	Medical Assist - Burns from Bonfire	Lakeshore Rd, Wainfleet
22-149	2022-09-11	Medical Assist - Cardiac	Lakeshore Rd, Wainfleet
22-150	2022-09-13	Motor Vehicle Collision	Highway 3,
22-151	2022-09-18	Medical Assist - Cardiac	Cement Rd,
22-152	2022-09-19	Medical Assist - Hemorrhage	Highway 3, Wainfleet
22-153	2022-09-19	Motor Vehicle Collision	Caistor Gains. Rd, Wainfleet
22-154	2022-09-23	Motor Vehicle Collision	Highway 3, Wainfleet
22-155	2022-09-23	Open Air Burning Complaint	Highway 3, Wainfleet
22-155B	2022-09-24	Standby - Wainfleet Fall Fair Demolition Derby	Park St, Wainfleet
22-156	2022-09-26	CO Incident - Water Heater Issue	Gracey Rd, Wainfleet
22-157	2022-09-27	Gas Leak - Natural Gas	Rathfon Rd, Wainfleet
22-158	2022-09-30	Medical Assist - VSA	Highway 3, Wainfleet

APPARATUS & EQUIPMENT

Apparatus

Various maintenance items continue to arise for all apparatus and equipment. Fire Dept. Staff continue to work with third party contractors to ensure all items are addressed in a timely manner. Aging equipment continues to be the primary cost centre.

Following Council's approval of the 2022 Capital Budget, a RFP for a new heavy duty pickup truck was issued and closed on June 14, 2022. On June 21, 2022, Council approved the purchase of a 2023 4,800 kg GVWR, crew cab, 4-door, 4-wheel drive, 2500 GMC Sierra HD pickup truck from Niagara Motors, which was delivered on September 21, 2022. Graphics, emergency equipment (lights & sirens), communications equipment, and supplementary equipment is scheduled to be installed in Q4 of 2022.

2022 Annual Pump Test

On August 25, 2022, annual testing was conducted on all apparatus and ground ladders. The results of the testing are listed below.

Truck ID	Year	Make & Model	Primer & Vacuum Test	Flow Test	Pressure Relief Valve	Overall
E-1	2003	Pierce Kenworth	Pass	Pass	Pass	Pass
E-2	1999	Superior International	Pass	Pass	Pass	Pass
E-3	2021	HME 1871 SFO	Pass	Pass	Pass	Pass
E-4	2017	Fort Garry International	Pass	Pass	Pass	Pass



Engine 1



Engine 2



*Engine 3**Engine 4*

During testing, a full third-party inspection was conducted on all apparatus. The results of that inspection are detailed below. Repairs have been quoted and scheduled for completion.

Truck ID	Inspection Notes
E-1	Various lights inoperable
E-2	Water Temp Gauge on pump panel inaccurate Various lights inoperable Discharges 2 & 4 valves leaking
E-3	None
E-4	Various lights inoperable

2022 Annual Ladder Test Results

Truck ID	Make & Model	Age	Type	Length	Construction	Result
Engine 1	Duo-Safety	2000s	Extension	16'	Aluminum	Repairs completed for a PASS
	Not Present	N/A	Roof	N/A	N/A	DEFICIENT
	Not Present	N/A	Attic	N/A	N/A	DEFICIENT
Engine 2	Duo-Safety	2019	Extension	24'	Aluminum	PASS
	Duo-Safety	2019	Roof	14'	Aluminum	PASS
	Not Present	N/A	Attic	N/A	N/A	DEFICIENT
Engine 3	Duo-Safety	2021	Extension	24'	Aluminum	PASS
	Duo-Safety	2021	Roof	14'	Aluminum	PASS
	Duo-Safety	2021	Attic	10'	Aluminum	PASS
Engine 4	Duo-Safety	2018	Extension	24'	Aluminum	Repairs completed for a PASS
	Duo-Safety	2018	Roof	14'	Aluminum	Repairs completed for a PASS
	Duo-Safety	2018	Attic	10'	Aluminum	Repairs completed for a PASS

Staff continue to investigate options to equip all Engines with the required type and quantity of ground ladders.

Equipment

Capital equipment purchases for 2023 have been ordered. Current market conditions have greatly increased supply and delivery times, with many items scheduled to be delivered in Q4 of 2022.

FACILITIES**Existing Stations**

Council approved the Capital budget in March of 2022, which included a continuance of repairs and investments into Stations 3 (Burnaby) and 4 (Schwoob). These projects include:

Station #	Description	Status
Station 2	Storage Cabinets	Complete
Station 3	Repair of Concrete Sidewalk	Material shortages & increased labour costs have delayed this project to 2023
Station 3	Paint	Contract Awarded – Scheduled for completion in Q4
Station 4	Paint	Contract Awarded – Scheduled for completion in Q4
Station 4	Floor repairs & Coating	Material shortages & increased labour costs have delayed this project to 2023
Station 4	Foundation Repair	Contract Awarded – Scheduled for completion in Q4

Central Fire Station Project

Work continues on the Central Fire Station project. Below is a list of key tasks that have been completed.

Month	Benchmark
July	<ul style="list-style-type: none"> • Footings and foundation walls complete • Damp proofing complete • Slab back-fill complete • Pond infill complete • Septic bed constructed, and tank installed
August	<ul style="list-style-type: none"> • Electrical underground complete • Mechanical underground complete • Road and parking lot granular complete
September	<ul style="list-style-type: none"> • Apparatus bay trench drains complete • Roof trusses delivered • Under slab insulation complete • Floor slab reinforcing complete

PROFESSIONAL DEVELOPMENT, TRAINING & CERTIFICATION

Regular/Weekly Training

Personnel continue to conduct weekly training utilizing various facilities, and props available to the department. Suitable training facilities continue to be a need, and personnel continue to find creative solutions until a centralized facility can be provided.

Below is a list of topics covered during Q3 of 2022.

Lead Topic	Sub-Topics and Description
Fire Ground Operations	Practical – Deploy a fire attack handline, force entry through a locked door, advance a charged hose-line into a structure, apply an effective hose streams for fire suppression.
Fire Ground Operations	Practical - Conduct a size up and pre-plan various structures within the station's response area.
Fire Ground Operations	Perform safe operations of hoisting various equipment utilizing different ropes & Knots
Firefighter Survival & Rescue	Practical – SCBA air emergencies, reduced profile evacuation techniques, wire disentanglement, self rescue
Apparatus Operations	Practical – Apparatus inspections, pumping from a pressurized and a static water source, fire hose and fire streams.
Fire Suppression Agents	Demonstration and orientation training with FireRein Eco Gel firefighting agent.
Personal Protective Equipment	Practical -Don, Doff, Inspect, Clean & Maintain PPE & Respiratory Protection
Communications	Practical – Fireground radio communications – Initial Radio Reports, Follow Up reports, and Emergency Operations
Mental Health & Wellness	Presentation- Department implementation of WFES Mental Health & Wellness Action Plan, including introduction of Psychotherapist and Rapid Access to Addictions Medicine (RAAM) clinic.

PRIORITIES

The priorities for the fourth quarter of 2022 include:

- 2023 Recruitment
- 2023 Fire Prevention week activities
- Investigate Alternate Training Facilities and Options
- Continue work on Central Fire Station
- Continue work on 2022 Capital projects
- Continue work on Community Risk Assessment and Gap Analysis
- Begin 2023 Budget preparations

OPTIONS/DISCUSSION:

None.

FINANCIAL CONSIDERATIONS:

None.

OTHERS CONSULTED:

- 1) Fire Services Leadership Team
- 2) Deputy Fire Chief – Shawn Schutten
- 3) Strategic Leadership Team

ATTACHMENTS:

- 1) Appendix “A” - Year to Date Incident Statistics

Respectfully submitted by,

Approved by,

Morgan Alcock
Fire Chief/CEMC

William Kolasa
Chief Administrative Officer

APPENDIX "A" TO FSR-010/2022

WAINFLEET FIRE & EMERGENCY SERVICES 2022 MONTHLY DISPATCHES BY DETERMINANT

Determinant Group	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL	2021	% Change
STRUCTURE FIRE	1	2	3	1	1	1	0	0	1				10	6	66.7%
PRELIMINARY ALARM	0	1	0	0	0	0	0	0	0				1	0	#DIV/0!
REMOTE ALARM	2	2	1	0	2	1	3	1	0				12	9	33.3%
VEHICLE FIRE	1	0	0	0	0	1	0	0	0				2	6	-66.7%
GRASS/TREE/BRUSH	0	0	0	1	0	0	0	1	0				2	9	-77.8%
BURNING COMPLAINT	0	0	1	1	1	0	2	3	1				9	13	-30.8%
OTHER FIRE	0	1	0	0	0	1	2	0	0				4	8	-50.0%
MVC	3	3	2	1	3	5	7	2	4				30	32	-6.3%
GENERAL/TECH RESCUE	0	0	0	0	0	0	0	0	0				0	0	0.0%
MEDICAL	6	5	4	7	8	6	8	5	9				58	27	114.8%
CARBON MONOXIDE	0	0	0	0	0	0	1	0	1				2	7	-71.4%
HAZMAT	0	0	0	0	0	0	0	0	0				0	1	-100.0%
EMERGENCY ASSIST	1	0	1	1	1	1	0	2	2				9	3	200.0%
NON EMERG/ASSIST	0	0	0	0	0	0	0	0	0				0	4	-100.0%
ICE/WATER RESCUE	0	0	0	0	0	2	1	0	0				3	2	50.0%
UNKNOWN 911	0	0	0	0	0	0	0	1	0				1	0	0.0%
Total Responses Within Municipality	14	14	12	12	16	18	24	15	18	0	0	0	143	127	12.6%
Total Responses Out of Jurisdiction (Other)	0	0	1	0	0	1	0	0	0				2	1	
To Port Colborne	0	0	0	2	3	2	3	4	0				14	0	
2022 TOTAL	14	14	13	14	19	21	27	19	18	0	0	0	159		
2021 TOTAL	13	12	11	6	22	12	18	17	17	0	0	0	128		



Memorandum

To: Mayor Grant & Members of Council
From: Morgan Alcock, Fire Chief/CEMC
Date: December 13, 2022
Re: Structural Firefighting Ensembles (Bunker Gear)

In late 2018/early 2019 an inventory was taken of all assets currently being operated by the Fire Service. This asset review was used in the development of a long-term plan for the replacement of Personal Protective Equipment.

In accordance with Ministry of Labour guidance and NFPA Standards, all structural firefighting PPE is to be retired after ten (10) years from the date of manufacture. This information was used to formulate the "Annual PPE" replacement budget. Developing a long-term strategy for the replacement of Capital PPE provides a "Flat Line" budget process that allows for consistent service delivery, while ensuring equipment is replaced in a legislative compliant, timely and sustainable fashion.

In addition to replacing expired gear, we are also required to provide firefighters that have completed their probationary period with PPE. Our long-term plan has taken these additional units into consideration during the development with the target of ensuring certified PPE is provided for all operational firefighters. In following with the PPE replacement plan, we have annually purchased 12 sets of gear, with no change forecasted for 2023.

Unfortunately, inflation has greatly impacted many markets and First Responder PPE has not been immune. As such, the materials and fabrics that are used to manufacture bunker gear has driven up costs almost quarterly.

Our supplier has informed us that, similar to the increases seen in 2022, PPE costs are set increase by 7% on orders placed after February 1, 2023.

	Unit Cost	Quantity	Extended
February 1, 2022	\$2,436.55	12	\$ 29,238.60
February 1, 2023	\$2,607.11	12	\$ 31,285.32
		Difference	\$ 2,046.72

Given that PPE has historically been an annual purchase, the Township can mitigate this increase should Council approve the purchase before the Township's final budget is approved. After the 2019 initial phase in of the Capital PPE budget, staff have utilized approximately 4.75% inflation rate for PPE & Equipment and are confident that should this rate be used in the development of the 2023 budget, operational requirements will be maintained.

Year	2020	2021	2022	2023
Capital PPE Budget	\$42,000.00	\$44,000.00	\$46,000.00	\$48,000.00

Staff are recommending that Council authorize the purchase of Structural Firefighting PPE (Bunker Gear) before the 2023 Budget is approved to avoid the quoted price increase set to take effect on February 1, 2023, and that Staff include these expenses in the 2023 Capital PPE budget.



TO: Mayor Grant & Members of Council

FROM: R. Nan, Manager of Operations

DATE OF MEETING: December 13, 2022

SUBJECT: 2022 Municipal Bridge/Culvert Inspection

RECOMMENDATION(S):

THAT Report PWSR-017/2022 respecting the submission of the 2022 Municipal Bridge/Culvert Inspection report be received for information.

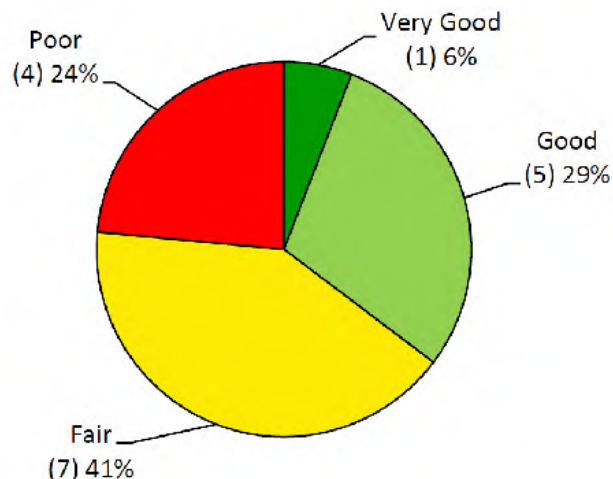
EXECUTIVE SUMMARY:

The Township of Wainfleet currently has 15 Bridges/Culverts which are solely owned and 2 locations where the township shares the dual ownership with the Municipality of West Lincoln.

The Township is required under Ontario Regulation 104/97 to inspect Structures with a span that is equal to or greater than 3.0m every 2 years. In the 2020 assessment, fifteen (15) of the Township's seventeen (17) structures were inspected. These inspections did not include the two structures which have shared ownership with the Township of West Lincoln, Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge).

Each structure has been given a priority ranking. The priority ranking summary spreadsheets of the Rehabilitation/Replacement Needs have been prioritized according to the following categories: NOW, 1–5 Years, 6–10 Years, and Adequate. In addition to the priority rankings, the structures are classified with a General Overall Condition rating and a corresponding Bridge Condition Index (BCI) value.

Structures Classified by General Overall Condition



Below is a list of the Bridge structures and locations identifying the structure type as well as the estimated cost for remedial and reconstruction cost estimates.

STRUCTURE TYPE CODES:

- RF** - Rigid Frame
- SOCG** - Slab On Concrete Girder
- SOSG** - Slab On Steel Girder
- SSMP** - Soil Steel Multi Plate
- OTHER** - Other Includes Steel Girder With Wood Rapped In Fiberglass

ID	Structure Name	Location	Bridge Type	Condition	Estimated Cost
0001	Mill Race Road	100m southwest of Buliung Road	RF	Fair	\$508,000
0002	Buliung Road (Side Road 18)	Intersection of Mill Race Road and Buliung Road	SG,Wood	Fair	\$115,000
0003	Gents Road (Side Road 18)	500m north of Hwy. 3, Lots 17 & 18, Concession 5	SOSG	Very Good	\$0
0004	Malowany Road (Side Road 14)	400m south of Feeder Street East	RF	Fair	\$485,000
0005	Dixie Road Bridge (Side Road 16)	200m south of Feeder Road	RF	Poor	\$1,035,000
0007	Misener Road	500m north of Hwy. 3	SG,Wood	Fair	\$5,000
0010	Perry Road (Side Road 30)	200m north of Hwy. 3	SOSG	Fair	\$920,000
0011	Dixie Road Bridge	Dixie Road, 0.55km north of Garringer Road	RF	Good	\$0
0012	Malowany Road	Malowany Road (Sideroad 14), 0.8km north of Garringer Road	RF	Good	\$0
0013	Zion Road Bridge	Zion Road Bridge (Sideroad 36), 0.1km north of Hwy 3	RF	Poor	\$575,000
0014	Zion Road CSP	Zion Road (Sideroad 38), 1.0 km north of Hwy 3	SSMP	Good	\$0
0015	Zion Road Bridge	Zion Road (Sideroad 38), 1.1km north of Hwy 3	RF	Good	\$0
0016	Pearson Lincoln and Welland Bridge	Boyle Road, 0.5 km North of River Rd. (RR27)	SOCG	Fair	\$150,000
0017	Dawson Lincoln and Welland Bridge	Caistor Gainsborough Townline Road, 1.0km north of Canborough Rd. (RR63)	SOSG	Good	\$1,760,000
0018	Shields Road Bridge	0.6km north of Forks Road	SG,Wood	Poor	\$690,000
0019	Church Street Bridge	Church Street, 10m west of Mill Race Street	RF	Fair	\$253,000
2001	Quarrie Road (Side Road 6)	1.1km south of Hwy. 3	RF	Good	\$0

Shown below is summary of change in cost from the 2020 appraisal to the 2022 appraisal.

Priority Rating	2018 Total Cost	2020 Total Cost	Summary of Major Changes and Comments
Adequate	\$0	\$0	No Change.
6–10 Years	\$1,560,000	\$690,000	+ Increases in construction costs. - Structure No. 0010 moved to 1-5 Years.
1–5 Years	\$2,894,000	\$3,406,000	+ Increases in construction costs. + Structure No. 0002 Rehabilitated in 2021 + Structure No. 0010 moved from 6-10. - Structure No. 0004 moved to NOW.
NOW	\$1,160,500	\$497,000	+ Increases in construction costs. + Structure No. 0004 moved from 1-5 years. - Structure No. 007 Rehabilitated in 2021 - Structure No. 003 Replaced in 2022
Total	\$5,614,500	\$4,593,000	\$1,021,500 decrease (Approximately 18% decrease)

Costs include estimates for engineering.

Table 5 does not include rehabilitation or replacement costs for Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge).

- Indicates reduction in cost from 2020.

+ Indicates increase in cost from 2020.

The Engineering firm has noted a 18% decrease in total costs from 2020. The decrease is due to the replacement of Gents Road Bridge (0003) in 2022, and also the rehabilitation of Buliung Road (0002) and Misener Road (0007) in 2021.

The Zion Bridge number 0013 which is rated as poor and is a rigid frame constructed bridge is currently under review with the Ellsworth municipal drain project . This drain is currently being updated under a section 78 of the Drainage Act and the Engineering firm have included the removal of this structure and replacing it with a culvert which will be captured under the Large Culvert and Drainage budget submission in the 2023 Budget.

FINANCIAL CONSIDERATIONS:

The report is for information purposes and future project details will be included for council's consideration as part of future budget deliberations.

OTHERS CONSULTED:

Strategic Leadership Team

ATTACHMENTS:

Appendix "A" - 2022 Wainfleet Bridge and Culvert Inspection

Appendix "B – 2022 Structure Asset Management Cost Forecast (SAMCF)

Respectfully submitted by,

Approved by,

Richard Nan, CRSS
Manager of Operations

William J. Kolasa,
Chief Administrative Officer/ Clerk

APPENDIX “A”

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**2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL
REHABILITATION AND REPLACEMENT NEEDS**

October 2022



ELLIS Engineering Inc.
214 Martindale Road, Suite 201
St. Catharines, ON L2S 0B2
Phone: (905) 934-9049
www.ellis.on.ca



ELLIS
Engineering Inc.

TOWNSHIP OF WAINFLEET

**2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL
REHABILITATION AND REPLACEMENT NEEDS**

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Bridge Management Database USB Flash Drive



ELLIS Engineering Inc.
Consulting Engineers
214 Martindale Road, Suite 201
St. Catharines, ON L2S 0B2

Tel: (905) 934-9049
Web: www.ellis.on.ca

October 21, 2022

The Township of Wainfleet

31940 Highway No. 3.

P.O. Box 40,

Wainfleet, ON

L0S 1V0

Attention: Mr. Richard Nan, Manager of Operations

Reference: 2022 Municipal Bridge/Culvert Appraisal – Rehabilitation and Replacement Needs. ELLIS File No.: 1079

We are pleased to submit one copy of the 2022 Municipal Bridge/Culvert Appraisal – Rehabilitation and Replacement Needs, which contains inspection reports for 17 bridge and culvert structures located in the Township of Wainfleet.

A universal serial bus (USB) flash drive has been included, which contains all files relating to the Township's bridge and culvert structures, including the corresponding Bridge Management Database (file titled *2022 Wainfleet Bridge and Culvert Inspections.mdb*) and a Microsoft Streets and Trips map file (file titled *2022 Wainfleet Bridge and Culvert Inspections Map.est*) containing the location of all the Township's structures, a PDF version of this report (file titled *2022 Wainfleet Bridge and Culvert Inspections Report.pdf*), as well as all original inspection photographs organized by structure.

The Township will require the use of Microsoft Access 2007 to use the database and Microsoft Streets and Trips 2005 to view the map file.

All of the inspections were completed by Robert Ellis and Jordan Marcella of ELLIS Engineering Inc. Arih Struger-Kalkman, P.Eng., reviewed the reports, including recommendations and cost estimates based on the deficiencies at each structure.

Classification:

All structures have been classified as either “Bridge” or “Culvert” type structures according to the criteria contained in the Municipal Bridge and Culvert Appraisal Manuals. The definition is as follows:

“Box or open type structure ... and which has more than 600mm of cover shall be appraised as a culvert, and those with less than 600mm of cover shall be appraised as a bridge”.

Corrugated Steel Pipe (CSP) and Soil Steel Multi Plate (SSMP) type structures are always classified as culverts, regardless of fill. Structures are numbered according to the following scheme, as shown in Figure 1, below.

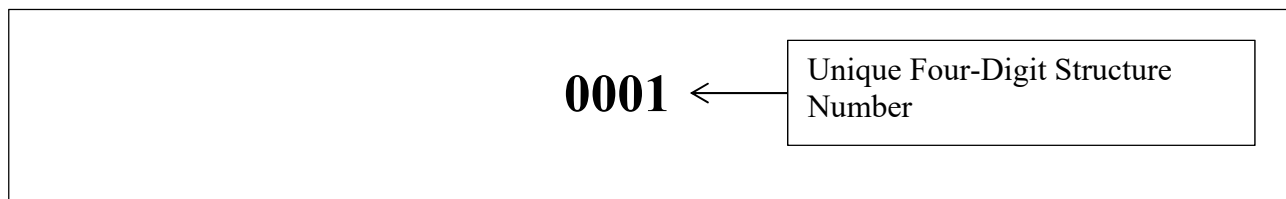


Figure 1: Structure ID Number Scheme

Also, ‘Bridge’ and ‘Culvert’ type structures have been classified as either ‘Municipal’ or ‘Structure’. ‘Bridges’ or ‘Culverts’ with a span less than 3.0m are classified as ‘Municipal’ type structures and do not require inspection every two years as required by Ontario Regulation 104/97. Structures with a span equal to or greater than 3.0m are classified as ‘Structure’ and must be inspected once every two years, by Ontario law.

The biennial inspection for ‘Structures’ may be increased to four years, according to the criteria contained in the Ontario Structure Inspection Manual (OSIM), if the following criterion is met:

“For culverts with 3 to 6 metre spans and retaining walls, the inspection interval can be increased to four years if the culvert or retaining wall is in good condition and the engineer believes that the culvert or retaining wall condition will not change significantly before the next inspection.”

Priority Ranking and Bridge Condition Index (BCI):

Each structure has been given a priority ranking. The priority ranking summary spreadsheets of the Rehabilitation/Replacement Needs have been prioritized according to the following categories:

- NOW,
- 1–5 Years,
- 6–10 Years, and
- Adequate.

In addition to the priority rankings, the structures are classified with a General Overall Condition rating and a corresponding Bridge Condition Index (BCI) value. The categories summarized in Table 1, on the following page, were used to rank the structures.

Table 1: Structure Condition Classification and Corresponding BCI Values

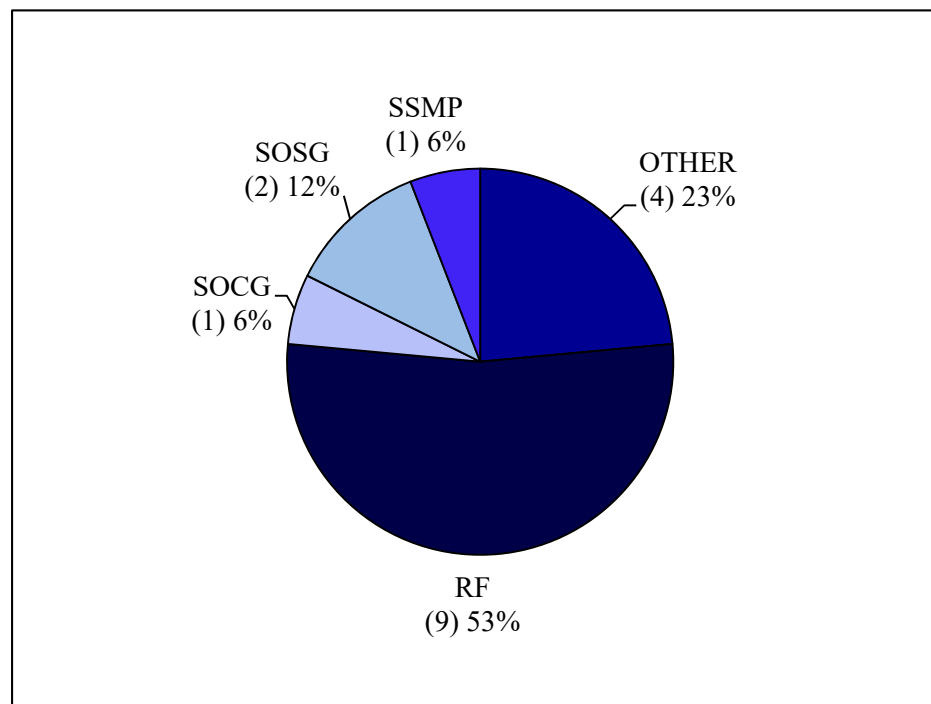
Condition	BCI Range	Description
Very Good	80 – 100	Overall the components of the structure are in very good condition. Generally, the structure has been constructed within the last 10 years and does not require any work within the next 10 years.
Good	70 – 79	Overall the components of the structure are in good condition. Generally, the structure is adequate or requires only minor maintenance within the next 10 years.
Fair	60 – 69	Overall the components of the structure are in fair condition. Generally, the structure requires major rehab or replacement within the next 10 years, or requires Condition Survey (C/S), Load Capacity Evaluation (LCE) or Rehabilitation/Replacement Analysis (RRA).
Poor	0 – 59	Overall the components of the structure are in poor condition. Generally, the structure requires replacement within the next 5 years.

Structure Type:

Each of the structures inspected has been classified by structure type. Structure types include Rigid Frame (RF), Slab on Concrete Girder (SOCG), Slab on Steel Girder (SOSG), and Soil Steel Multi Plate (SSMP).

Structures that are not identified as one of the aforementioned structure types are classified as OTHER. The exact structure description for structures identified as OTHER has been included in the Bridge Management Database.

Figure 2, below, shows the structure classification by number of structures under each type and as a percentage of the total structures inspected.

*Figure 2: Structures Classified by Structure Type*

Bridge Management Database:

There are a total of 18 records for 17 structures in the Bridge Management Database. There are two (2) records for Structure No. 0018 (Shields Road Bridge), containing recommendations for two different Priority Ratings (NOW and 6-10 Years).

All structure inspection information has been entered into the Bridge Management Database. Through the structure inspections database, inspection reports and photographs can be sorted and viewed electronically and any additional hard copies can be printed directly from the database.

All Rehabilitation/Replacement Needs reports contained in the ring binder are sorted numerically by Structure ID Number. The various printed spreadsheets list the structures by structure number, within their respective priority rating categories (NOW, 1 – 5 Years, 6 – 10 Years, and Adequate).

Table 2, below, lists structures that have shared ownership with the Township of West Lincoln. These structures were not inspected as part of this report as they are inspected by the Township of West Lincoln. The 2021 inspection reports for Structure No. 0016 (Pearson Lincoln and Welland Bridge) and Structure No. 0017 (Dawson Lincoln and Welland Bridge), completed by ELLIS Engineering Inc. are included for reference.

Table 2: Structures with Joint Ownership

Structure Name	Location	ID Number
Pearson Lincoln & Welland Bridge	Boyle Road, 0.5km north of River Road (RR27)	0016
Dawson Lincoln & Welland Bridge	Caistor Gainsborough Townline Road, 1.0km north of Canborough Road (RR63)	0017

Changes and Updates to the Database:

There were no changes or updates made to the structure inspection Bridge Management Database since the 2020 Appraisal.

Next Inspection:

In the 2022 assessment, 15 of the Township's 17 structures were inspected. These inspections did not include the two structures which have shared ownership with the Township of West Lincoln, Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge), as summarized in Table 2, on the previous page.

The 2022 Municipal Bridge/Culvert Appraisal identified one culvert with a 3.3m span as adequate and in good condition (Zion Road CSP, Structure No. 0014); however, it was noted that due to our experience with the potential for advanced rates of corrosion in SSMP structures, we do not recommend extending the inspection interval for this structure to 4 years at this time.

The 2022 assessment identified 15 structures to be inspected in 2024. A summary of the inspection dates and next inspection dates is included in the Structure Summary List.

Estimated Costs for Repair:

The estimated rehabilitation and replacement construction costs, presented herein, have been calculated based on preliminary engineering assumptions. The accuracy of the cost estimates are in an approximated range of plus or minus 20%. A breakdown of estimated costs for individual structure rehabilitation needs is provided with no allowance for contingencies.

In some cases, the installation of steel beam guiderail may be included as an optional recommendation. The installation of steel beam guiderail, for these cases, will depend on the Township's Roadside Safety Policy related to each site. Generally, road works have not been recommended unless directly related to the rehabilitation of the structure.

Summary of Structure Conditions:

Figure 3, below, shows the number and percentage of the structures inspected in 2022 in each General Overall Condition category.

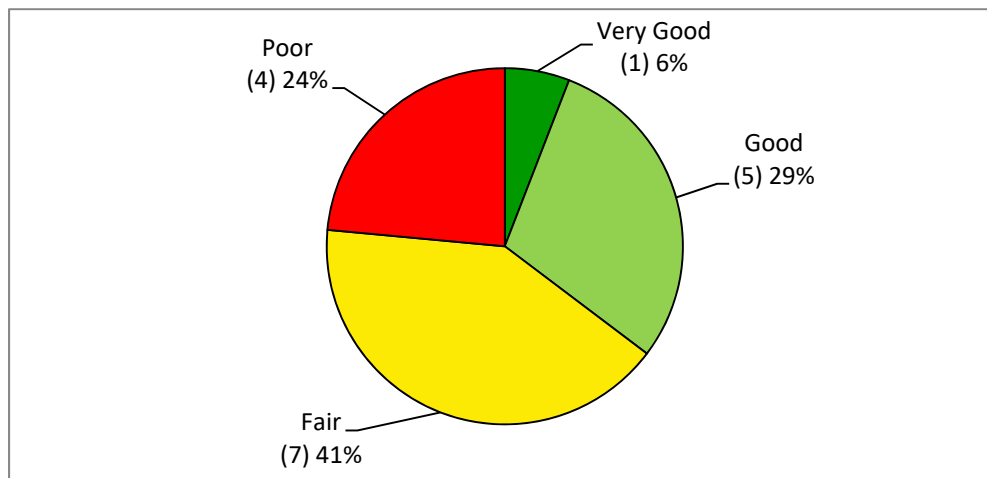


Figure 3: Structures Classified by General Overall Condition

The structure general overall conditions are summarized in Table 3, below, and Figure 4, on the following page.

Table 3: Summary of General Overall Condition

		General Overall Condition				
		Very Good	Good	Fair	Poor	Total
Priority Rating	Adequate	1 (6%)	4 (24%)	1 (6%)	0 (0%)	6 (35%)
	6–10 Years	0 (0%)	1 (6%)	0 (0%)	1 (6%)	2 (12%)
	1–5 Years	0 (0%)	0 (0%)	3 (18%)	3 (18%)	6 (35%)
	NOW	0 (0%)	0 (0%)	3 (18%)	0 (0%)	3 (18%)
Total		1 (6%)	5 (29%)	7 (41%)	4 (24%)	17 (100%)

Notes: Percentages (%) are rounded to the nearest percent.

There are a total of 18 records in the database for 17 structures. There is one structure that has two records for different Priority Ratings (NOW and 6-10 Years). Only the record with the most significant recommendations (e.g., Replacement in 6-10 Years) is included in Table 3.

Table 3 includes Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge).

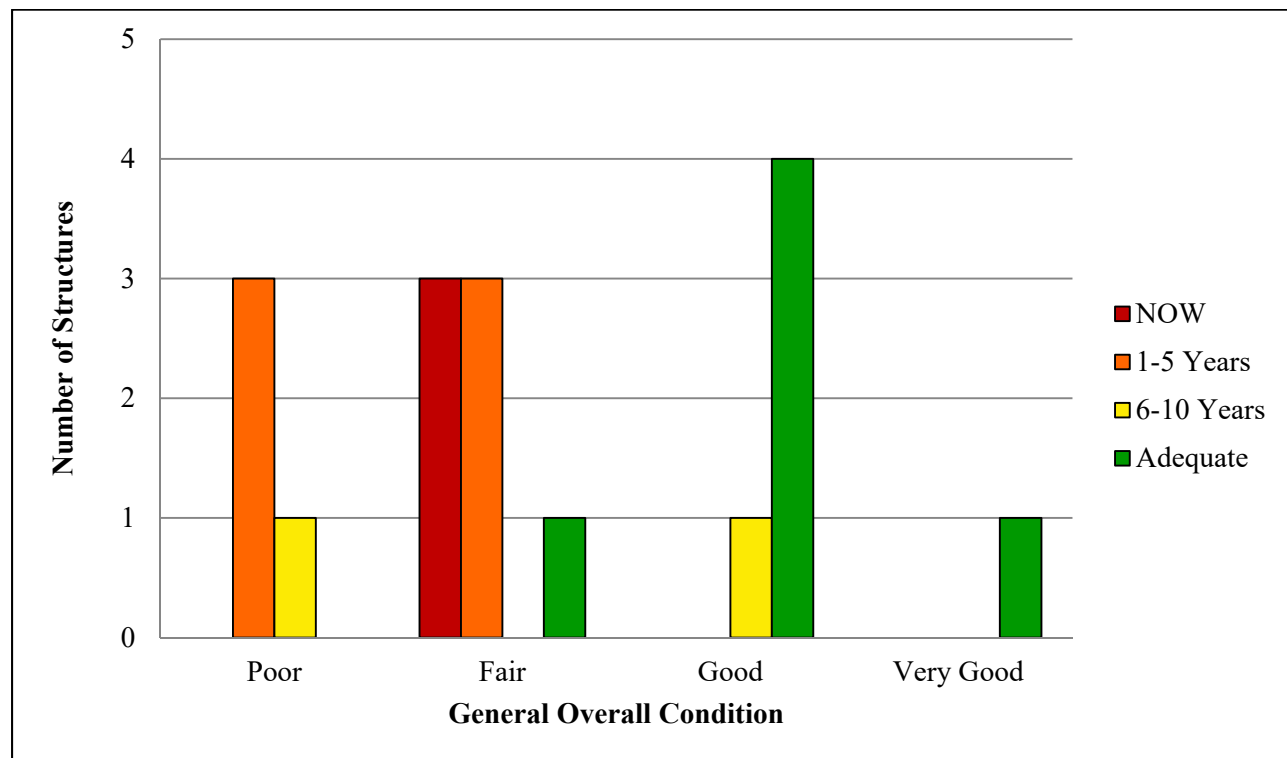


Figure 4: Number of Structures for Each General Overall Condition Category by Priority Rating

Table 4, below, and Figure 5, on the following page, summarize the relationship between the Priority Rating of the Structures inspected in 2022 relative to the estimated cost range for the Rehabilitation/Replacement Needs.

Table 4: Summary of Priority Rating and Cost

		Total	% of Total	2022 Estimated Cost	Number of Structures in the Cost Range		
					\$0 - \$49,999	\$50,000 - \$499,999	\$500,000+
Priority Rating	Adequate	6	38%	\$0	-	-	-
	6-10 Years	1	6%	\$690,000	0	0	1
	1-5 Years	6	38%	\$3,406,000	0	2	4
	NOW	3	19%	\$497,000	2	1	0
Total		16	100%	\$4,593,000	2	3	5

Notes: Costs include estimates for engineering.

Percentages (%) are rounded to the nearest percent.

Table 4 includes 16 records for 15 structures as there is one structure that has two records for different priority ratings (NOW and 6-10 Years). Both records are included.

Table 4 does not include rehabilitation/replacement costs for Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge).

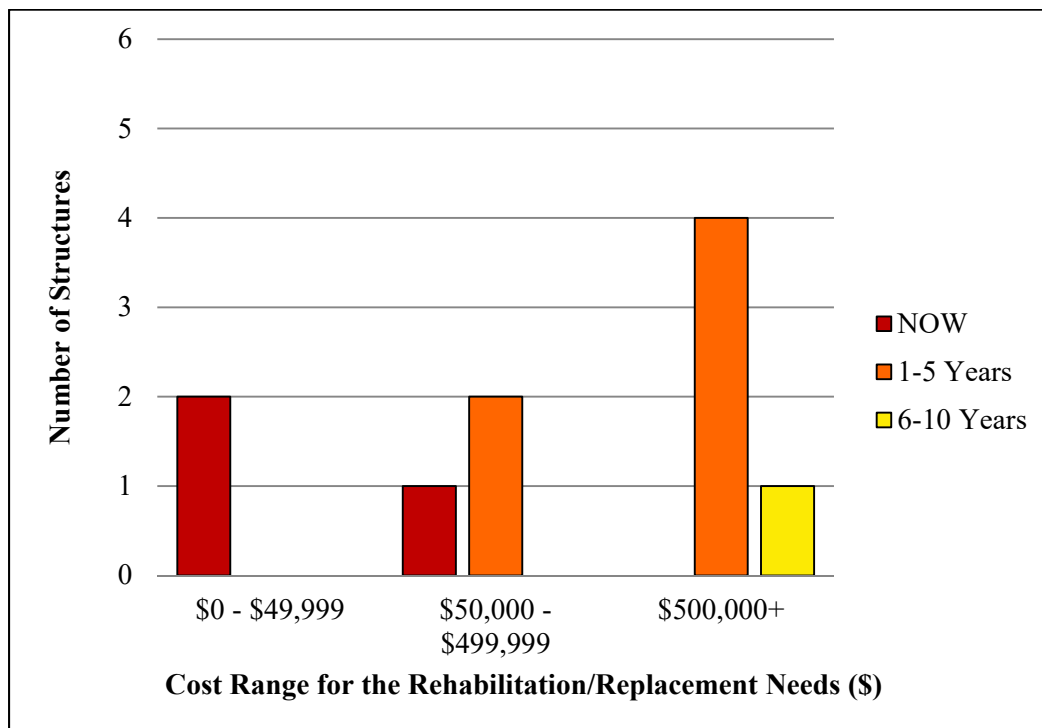


Figure 5: Number of Structures in the Rehabilitation/Replacement Cost Range by Priority Rating

Table 5, on the following page, summarizes the change in cost from 2020 to 2022 for structures in each Priority Rating.

Table 5: Summary of the Change in Cost from the 2020 Appraisal to the 2022 Appraisal

Priority Rating	2020 Total Cost	2022 Total Cost	Summary of Major Changes and Comments
Adequate	\$0	\$0	No Change.
6-10 Years	\$1,560,000	\$690,000	+ Increases in construction costs. - Structure No. 0010 moved to 1-5 Years.
1-5 Years	\$2,894,000	\$3,406,000	+ Increases in construction costs. + Structure No. 0010 moved from 6-10 Years. - Structure No. 0002 rehabilitated in 2021. - Structure No. 0004 moved to NOW.
NOW	\$1,160,500	\$497,000	+ Increases in construction costs. + Structure No. 0004 moved from 1-5 Years. - Structure No. 0007 rehabilitated in 2021. - Structure No. 0003 replaced in 2022.
Total	\$5,614,500	\$4,593,000	\$1,021,500 decrease (Approximate 18% decrease)

Notes: Costs include estimates for engineering.

Table 5 does not include rehabilitation or replacement costs for Structure No. 0016 (Pearson Lincoln & Welland Bridge) and Structure No. 0017 (Dawson Lincoln & Welland Bridge).

- Indicates reduction in cost from 2020.

+ Indicates increase in cost from 2020.

In Table 5, on the previous page, we note an approximate 18% decrease in total costs from 2020 to 2022. The decrease is due to the replacement of Gents Road Bridge (0003) in 2022, and also the rehabilitation of Buliung Road (0002) and Misener Road (0007) in 2021.

Closing:

We thank you for giving us the opportunity to provide our services for this very interesting project. Should you have any questions concerning the report, please contact the undersigned.

Yours truly,

ELLIS Engineering Inc.



Arih Struger-Kalkman, M.Eng., P. Eng.
Project Manager



Robert Ellis
Project Assistant

TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

RECOMMENDED WORK & STRUCTURE TYPE CODES

RECOMMENDED WORK TYPE CODES:

DCS	- DECK CONDITION SURVEY
RSP	- REHABILITATE SUPERSTRUCTURE
RSB	- REHABILITATE SUBSTRUCTURE
RIR	- RAILING IMPROVEMENT / REPLACEMENT
PWP	- PATCH WATERPROOF AND PAVE
WSR	- WEARING SURFACE REHABILITATION
C/S	- CONDITION SURVEY
RSL	- REPLACE SAME LOCATION
OWP	- OVERLAY WATERPROOF AND PAVE
TJR	- TRANSVERSE EXPANSION JOINT REPLACEMENT
CSS	- COAT STRUCTURAL STEEL
LCE	- LOAD CAPACITY EVALUATION
PDR	- PARTIAL DECK REPLACEMENT
RRA	- REHABILITATION/REPLACEMENT ANALYSIS
CDR	- COMPLETE DECK REPLACEMENT
SPI	- SCOUR PROTECTION IMPROVEMENT
MIS	- MISCELLANEOUS – OTHER WORK



STRUCTURE TYPE CODES:

RF	- RIGID FRAME
SOCG	- SLAB ON CONCRETE GIRDER
SOSG	- SLAB ON STEEL GIRDER
SSMP	- SOIL STEEL MULTI PLATE
OTHER	- OTHER

TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

MAP LEGEND

	Blue Square	Structure inspected in 2022, next inspection in 2024.
	Yellow Square	Structure inspected by Township of West Lincoln in 2021, next inspection in 2023.

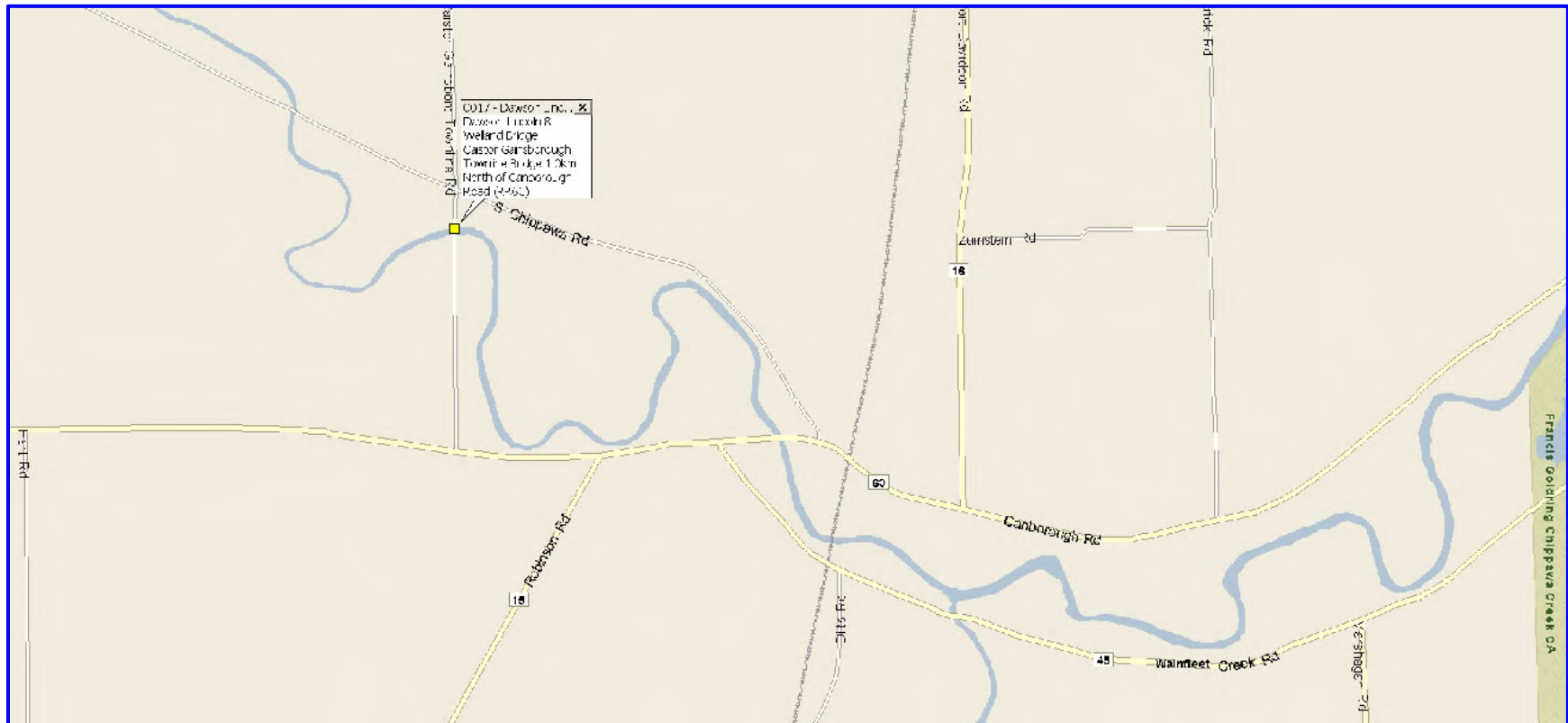
2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

The map displays the Welland River and its tributaries, including the St. Lawrence River. Four specific areas are highlighted with blue boxes and labeled as 'Map 1', 'Map 2', 'Map 3', and 'Map 4'. Map 1 is located near Dunnville, Map 2 near Welland, Map 3 near Wainfleet, and Map 4 near Port Colborne. The map also shows major roads, such as Highway 15, Highway 21, and Highway 23, and various landmarks, including the Welland Canal and the Welland Lock.

TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

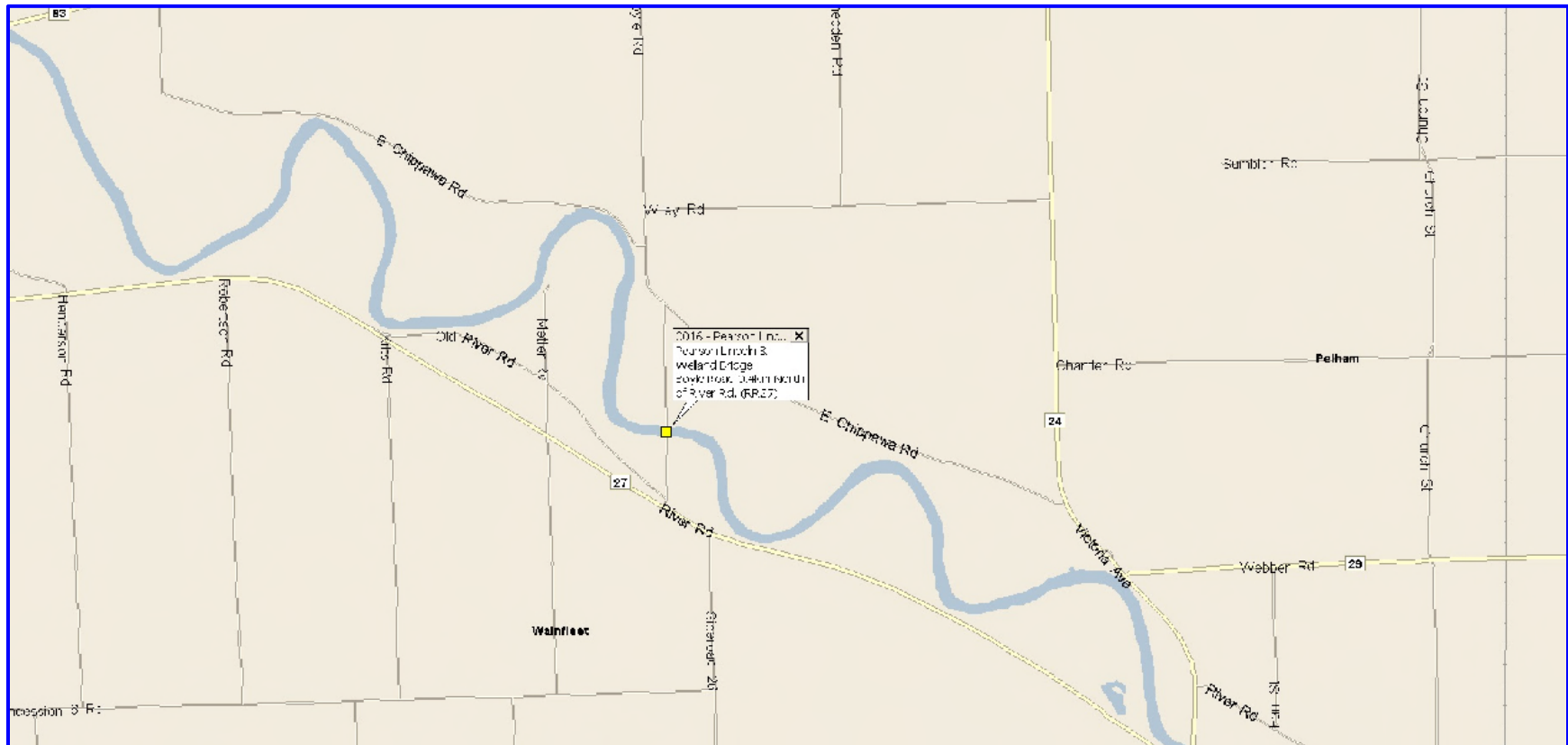
LOCATION PLAN – MAP 1



TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

LOCATION PLAN – MAP 2



2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

The map displays the study area with the proposed road network highlighted in yellow. Key roads include Highway 3 (running horizontally), Highway 10 (running vertically), and several local roads such as Highway 30, Highway 32, Highway 34, Highway 36, Highway 38, Highway 40, Highway 42, Highway 44, Highway 46, Highway 48, Highway 50, Highway 52, Highway 54, Highway 56, Highway 58, Highway 60, Highway 62, Highway 64, Highway 66, Highway 68, Highway 70, Highway 72, Highway 74, Highway 76, Highway 78, Highway 80, Highway 82, Highway 84, Highway 86, Highway 88, Highway 90, Highway 92, Highway 94, Highway 96, Highway 98, and Highway 100. The map also shows the location of the proposed road network, including the proposed road alignment, existing roads, and specific locations marked with callouts. The map is oriented with North at the top.

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

STRUCTURE SUMMARY LIST

ID Number	Structure Name	Inspection Date	Next Inspection Date	Location	Location Map Number
0001	Mill Race Road	05-Oct-22	2024	100m southwest of Buliung Road	3
0002	Buliung Road (Side Road 18)	05-Oct-22	2024	Intersection of Mill Race Road and Buliung Road	3
0003	Gents Road (Side Road 18)	05-Oct-22	2024	500m north of Hwy. 3, Lots 17 & 18, Concession 5	3
0004	Malowany Road (Side Road 14)	05-Oct-22	2024	400m south of Feeder Street East	3
0005	Dixie Road Bridge (Side Road 16)	05-Oct-22	2024	200m south of Feeder Road	3
0007	Misener Road	05-Oct-22	2024	500m north of Hwy. 3	3
0010	Perry Road (Side Road 30)	12-Oct-22	2024	200m north of Hwy. 3	3
0011	Dixie Road Bridge	05-Oct-22	2024	Dixie Road, 0.55km north of Garringer Road	3
0012	Malowany Road	05-Oct-22	2024	Malowany Road (Sideroad 14), 0.8km north of Garringer Road	3
0013	Zion Road Bridge	12-Oct-22	2024	Zion Road Bridge (Sideroad 36), 0.1km north of Hwy 3	3
0014	Zion Road CSP	12-Oct-22	2024	Zion Road (Sideroad 38), 1.0 km north of Hwy 3	3
0015	Zion Road Bridge	12-Oct-22	2024	Zion Road (Sideroad 38), 1.1km north of Hwy 3	3
0016	Pearson Lincoln and Welland Bridge	04-May-21	2023	Boyle Road, 0.5 km North of River Rd. (RR27)	2
0017	Dawson Lincoln and Welland Bridge	04-Jun-21	2023	Caistor Gainsborough Townline Road, 1.0km north of Canborough Rd. (RR63)	1
0018	Shields Road Bridge	05-Oct-22	2024	0.6km north of Forks Road	3
0019	Church Street Bridge	05-Oct-22	2024	Church Street, 10m west of Mill Race Street	3
2001	Quarrie Road (Side Road 6)	05-Oct-22	2024	1.1km south of Hwy. 3	4

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Priority Ranking Summary: **MASTER**

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location										
0001	Mill Race Road 100m southwest of Buliung Road	Fair	66	65	1951	RF	1	8.53	83	\$508,000.00
Recommendation		RSP	RSB	RIR	PWP	C/S				
0002	Buliung Road (Side Road 18) Intersection of Mill Race Road and Buliung Road	Fair	69	67	1948, 2009	OTHER	1	7.01	63	\$115,000.00
Recommendation					CSS					
MIS:	Remove Plywood from Abutments				Replace stiffener connections					
0003	Gents Road (Side Road 18) 500m north of Hwy. 3, Lots 17 & 18, Concession 5	Very Good	45	98	2022	OTHER	3	3.35	241	\$0.00
Recommendation										
0004	Malowany Road (Side Road 14) 400m south of Feeder Street East	Fair	62	61	1951	RF	1	7.32	80	\$485,000.00
Recommendation		RSP	RSB	RIR	PWP	C/S				
0005	Dixie Road Bridge (Side Road 16) 200m south of Feeder Road	Poor	59	57	1951	RF	1	7.92	80	\$1,035,000.00
Recommendation					RSL					

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
0007	Misener Road 500m north of Hwy. 3	Fair	68	65	1950, 2010	OTHER	1	8.53	77	\$5,000.00
Recommendation										
MIS:	Remove Concrete Formwork	Monitor Centre Girder for Additional Section Loss								
0010	Perry Road (Side Road 30) 200m north of Hwy. 3	Poor	60	58	1935	SOSG	1	7.32	68	\$920,000.00
Recommendation		RSL								
0011	Dixie Road Bridge Dixie Road, 0.55km north of Garringer Road	Good	73	72	Unknown	RF	1	3.7	30	\$0.00
Recommendation										
0012	Malowany Road Malowany Road (Sideroad 14), 0.8km north of Garringer Road	Good	72	72	Unknown	RF	1	4.4	36	\$0.00
Recommendation										
0013	Zion Road Bridge Zion Road Bridge (Sideroad 36), 0.1km north of Hwy 3	Poor	51	50	Unknown	RF	1	3.8	42	\$575,000.00
Recommendation		RSL								
0014	Zion Road CSP Zion Road (Sideroad 38), 1.0 km north of Hwy 3	Fair	70	68	Unknown	SSMP	1	3.3	50	\$0.00
Recommendation										

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location										
0015	Zion Road Bridge	Good	73	72	Unknown	RF	1	4.4	35	\$0.00
Zion Road (Sideroad 38), 1.1km north of Hwy 3										
Recommendation										
0016	Pearson Lincoln and Welland Bridge	Fair	62	60	1965	SOCG	2	26.9, 26.9	662	\$150,000.00
Boyle Road, 0.5 km North of River Rd. (RR27)										
Recommendation										
	RIR					LCE		RRA		
MIS:	Unshrinkable Fill									
0017	Dawson Lincoln and Welland Bridge	Good	72	71	1965	SOSG	2	24.8, 24.8	575	\$1,760,000.00
Caistor Gainsborough Townline Road, 1.0km north of Canborough Rd. (RR63)										
Recommendation										
	RSP	RSB	RIR	PWP	C/S	TJR	CSS			
0018	Shields Road Bridge (Record 1 of 2, NOW)	Poor	43	42	Unknown	OTHER	1	8	40	\$7,000.00
0.6km north of Forks Road										
Recommendation										
						LCE				
MIS:	Close Bridge									
0018	Shields Road Bridge (Record 2 of 2, 6-10 Years)	Poor	43	42	Unknown	OTHER	1	8	40	\$690,000.00
0.6km north of Forks Road										
Recommendation										
			RSL							
0019	Church Street Bridge	Fair	61	60	c.1950	RF	1	5.4	42	\$253,000.00
Church Street, 10m west of Mill Race Street										
Recommendation										
	RSP	RSB	RIR	PWP						

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location										
2001	Quarrie Road (Side Road 6)	Good	78	78	2008	RF	1	5.5	49	\$0.00
1.1km south of Hwy. 3										
Recommendation										

Total: \$6,503,000.00

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Priority Ranking Summary: **NOW**

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location										
0004	Malowany Road (Side Road 14)	Fair	62	61	1951	RF	1	7.32	80	\$485,000.00
400m south of Feeder Street East										
Recommendation								Implementation Ranking	Medium	
	RSP RSB RIR PWP	C/S								
0007	Misener Road	Fair	68	65	1950, 2010	OTHER	1	8.53	77	\$5,000.00
500m north of Hwy. 3										
Recommendation								Implementation Ranking	Medium	
MIS:	Remove Concrete Formwork	Monitor Centre Girder for Additional Section Loss								
0016	Pearson Lincoln and Welland Bridge	Fair	62	60	1965	SOCG	2	26.9, 26.9	662	\$150,000.00
Boyle Road, 0.5 km North of River Rd. (RR27)										
Recommendation								Implementation Ranking	Medium	
						LCE		RRA		
MIS:	Unshrinkable Fill									
0018	Shields Road Bridge (Record 1 of 2, NOW)	Poor	43	42	Unknown	OTHER	1	8	40	\$7,000.00
0.6km north of Forks Road										
Recommendation								Implementation Ranking	High	
						LCE				
MIS:	Close Bridge									
									Total:	\$647,000.00

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Priority Ranking Summary: 1-5 Years

ID Number and Structure Name		General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location										
0001	Mill Race Road	Fair	66	65	1951	RF	1	8.53	83	\$508,000.00
100m southwest of Buliung Road										
Recommendation									Implementation Ranking	Medium
	RSP RSB RIR PWP	C/S								
0002	Buliung Road (Side Road 18)	Fair	69	67	1948, 2009	OTHER	1	7.01	63	\$115,000.00
Intersection of Mill Race Road and Buliung Road										
Recommendation									Implementation Ranking	Medium
					CSS					
MIS:	Remove Plywood from Abutments	Replace stiffener connections								
0005	Dixie Road Bridge (Side Road 16)	Poor	59	57	1951	RF	1	7.92	80	\$1,035,000.00
200m south of Feeder Road										
Recommendation									Implementation Ranking	Medium
		RSL								
0010	Perry Road (Side Road 30)	Poor	60	58	1935	SOSG	1	7.32	68	\$920,000.00
200m north of Hwy. 3										
Recommendation									Implementation Ranking	Medium
		RSL								
0013	Zion Road Bridge	Poor	51	50	Unknown	RF	1	3.8	42	\$575,000.00
Zion Road Bridge (Sideroad 36), 0.1km north of Hwy 3										
Recommendation									Implementation Ranking	Medium
		RSL								

ID Number and Structure Name					General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost	
Location														
0019	Church Street Bridge				Fair	61	60	c.1950	RF	1	5.4	42	\$253,000.00	
Church Street, 10m west of Mill Race Street														
Recommendation											Implementation Ranking			Medium
	RSP	RSB	RIR	PWP										

Total: \$3,406,000.00

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

ID Number and Structure Name					General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
Location													
0017	Dawson Lincoln and Welland Bridge				Good	72	71	1965	SOSG	2	24.8, 24.8	575	\$1,760,000.00
Caistor Gainsborough Townline Road, 1.0km north of Canborough Rd. (RR63)													
Recommendation													
	RSP	RSB	RIR	PWP	C/S		TJR	CSS					
0018	Shields Road Bridge (Record 2 of 2, 6-10 Years)				Poor	43	42	Unknown	OTHER	1	8	40	\$690,000.00
0.6km north of Forks Road													
Recommendation													
RSL													

Friday, October 21, 2022

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Priority Ranking Summary: **Adequate**

ID Number and Structure Name Location	General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
0003 Gents Road (Side Road 18) 500m north of Hwy. 3, Lots 17 & 18, Concession 5 Recommendation	Very Good	45	98	2022	OTHER	3	3.35	241	\$0.00
0011 Dixie Road Bridge Dixie Road, 0.55km north of Garringer Road Recommendation	Good	73	72	Unknown	RF	1	3.7	30	\$0.00
0012 Malowany Road Malowany Road (Sideroad 14), 0.8km north of Garringer Road Recommendation	Good	72	72	Unknown	RF	1	4.4	36	\$0.00
0014 Zion Road CSP Zion Road (Sideroad 38), 1.0 km north of Hwy 3 Recommendation	Fair	70	68	Unknown	SSMP	1	3.3	50	\$0.00
0015 Zion Road Bridge Zion Road (Sideroad 38), 1.1km north of Hwy 3 Recommendation	Good	73	72	Unknown	RF	1	4.4	35	\$0.00

ID Number and Structure Name Location	General Overall Condition	Previous BCI	Current BCI	Year Constructed	Structure Type	Number of Spans	Span	Deck Area (m2)	Estimated Cost
2001 Quarrie Road (Side Road 6) 1.1km south of Hwy. 3	Good	78	78	2008	RF	1	5.5	49	\$0.00
Recommendation									

Total: \$0.00

TOWNSHIP OF WAINFLEET

2022 MUNICIPAL BRIDGE/CULVERT APPRAISAL REHABILITATION AND REPLACEMENT NEEDS

INDEX PAGE FOR STRUCTURE INSPECTION REPORTS

ID Number	Structure Name	Page Range
0001	Mill Race Road	1 – 4
0002	Buliung Road (Side Road 18)	5 – 8
0003	Gents Road (Side Road 18)	9 – 12
0004	Malowany Road (Side Road 14)	13 – 16
0005	Dixie Road Bridge (Side Road 16)	17 – 20
0007	Misener Road	21 – 24
0010	Perry Road (Side Road 30)	25 – 28
0011	Dixie Road Bridge	29 – 32
0012	Malowany Road	33 – 36
0013	Zion Road Bridge	37 – 40
0014	Zion Road CSP	41 – 44
0015	Zion Road Bridge	45 – 48
0016	Pearson Lincoln and Welland Bridge	49 – 52
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0018	Shields Road Bridge (Record 1, NOW)	57 – 60
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0019	Church Street Bridge	65 – 68
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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Mill Race Road	ID Number	0001
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	100m southwest of Buliung Road	Number of Spans	1
Structure Type	RF	Span Lengths (m)	8.53
Yr Constructed	1951	Deck Area (m2)	83
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	0-400
Previous Inpsection	14-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is in fair condition. There has been some settlement of the roadway on both sides of the structure. There are hazard markers at all four corners of the structure. The concrete curb on the east side of the roadway is in fair condition. The concrete curb on the west side of the roadway is in poor condition with severe scaling, severe concrete disintegration, and longitudinal cracking along the edge. The concrete railings are generally in fair to good condition with areas of cracking and concrete deterioration with isolated areas of exposed reinforcing steel. The concrete wingwalls are in good condition. The gabion retaining structures at the ends of all wingwalls are generally in good condition. The bridge deck soffit is in fair to good condition with a wide longitudinal crack along the centre. There is evidence of leakage and efflorescent staining through the crack. The abutment walls are in good condition. There are steel drains at the bottom of the abutments and are in poor condition with severe corrosion. The creek and roadway side slopes are in good condition. There is concrete rubble in the stream bed. There is a utility attached to the east side of the bridge deck.

Recommendation

We recommend a condition survey be completed on the structure in 1-5 Years in view of rehabilitating the structure. Minimum rehabilitation work would include: patch, waterproof, and pave, replacing existing curb and barrier wall with parapet walls, and concrete patch repairs to the structure.

General Overall Condition	Fair	Priority Rating	1-5 Years	Current BCI	65
Estimated Total Cost	\$508,000.00	Implementation Ranking	Medium	Previous BCI	66

Friday, October 21, 2022

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Mill Race Road	ID Number	0001
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Recommended Rehabilitation

RSP - Rehabilitate Superstructure
RSB - Rehabilitate Substructure
RIR - Railing Improvement/Replacement
PWP - Patch Waterproof and Pave
C/S - Condition Survey

Engineering Cost

Engineering - C/S	\$25,000.00
Engineering - RSP, RSB, PWP, RIR	\$63,000.00
Sub Total	\$88,000.00

Construction Cost

RSP, RSB - Rehabilitate Structure	\$120,000.00
PWP - Patch Waterproof & Pave	\$150,000.00
RIR	\$150,000.00
	\$0.00
	\$0.00
Sub Total	\$420,000.00
Total	\$508,000.00

Inspected By	Robert Ellis and Jordan Marcella
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Photos	0262-0302
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Measurements	Span = 8.53m Length = 10.06m Width = 8.23m Skew = 25 degrees
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Additional Notes

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Mill Race Road
0001



Photograph No. 1: 0268: Surface treated roadway over the structure, looking south.



Photograph No. 2: 0275: East elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Mill Race Road
0001



Photograph No. 3: 0279: Underside of structure and north abutment looking north.



Photograph No. 4: 0264: Disintegration of west concrete curb.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Buliung Road (Side Road 18)	ID Number	0002
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Intersection of Mill Race Road and Buliung Road	Number of Spans	1
Structure Type	OTHER Comp. Fibre-Glass on Steel Beam Deck	Span Lengths (m)	7.01
Yr Constructed	1948, 2009	Deck Area (m2)	63
Yr Rehabilitated	2019	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	0-400
Previous Inpsection	14-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The roadway over the structure is asphalt paved and is generally in good condition. There are three beam railings along both sides of the roadway and a rounding at the northeast corner. Individual straight three beam sections have been installed on the southeast corner. There is light to medium corrosion at various locations on the painted three beam steel posts. The coating system has failed throughout the posts. The concrete wingwalls are in fair to good condition. The visible portions of the fibre glass bridge deck soffit are generally in good condition. The structural steelwork is in fair condition with areas of light to medium corrosion throughout where the coating system has failed. There are isolated areas of medium to severe corrosion in the stiffeners and connection plates along the center of the bridge and along the ends of the stiffeners at the three beam post connections. The visible portions of the concrete abutments are in fair to good condition. There is some light to medium concrete scour along the creek water line. There are finished thin plywood boards attached to the faces of both abutments. We are not sure why these boards have been installed. The faces of the abutments could not be inspected due to the boards. Rip rap slope protection has been installed at all four corners.

Recommendation

We recommend cleaning, coating the steel work, and replacing the stiffener connections in 1-5 Years. We also recommend removing the plywood on the face of both abutments to allow for proper inspection.

General Overall Condition	Fair	Priority Rating	1-5 Years	Current BCI	67
Estimated Total Cost	\$115,000.00	Implementation Ranking	Medium	Previous BCI	69

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Buliung Road (Side Road 18) **ID Number** 0002

Recommended Rehabilitation

CSS - Coat Structural Steel

MIS - Miscellaneous - Other Work

Remove Plywood from Abutments

Replace stiffener connections

Engineering Cost

Engineering - CSS, MIS \$15,000.00

\$0.00

Sub Total \$15,000.00

Construction Cost

CSS - Coat Structural Steel \$75,000.00

MIS - Remove Plywood \$2,000.00

MIS - Replace stiffener connections \$23,000.00

\$0.00

\$0.00

Sub Total \$100,000.00

Total **\$115,000.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0303-0401

Measurements Span = 7.01m
Length = 8.2m
Width = 7.62m

Additional Notes Existing abutments constructed in 1948. Superstructure replacement in 2009.
2019: Rehab: Waterproofing and paving completed. Repairs to guiderail.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Buliung Road (Side Road 18)

0002



Photograph No. 1: 0303: Roadway over the structure, looking east.



Photograph No. 2: 0401: South elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Buliung Road (Side Road 18)
0002



Photograph No. 3: 0371: Underside of structure looking west.



Photograph No. 4: 0349: Corrosion in steel work at centre of structure.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Gents Road (Side Road 18)	ID Number	0003
Classification	<input type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input checked="" type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	500m north of Hwy. 3, Lots 17 & 18, Concession 5	Number of Spans	3
Structure Type	OTHER HDPE	Span Lengths (m)	3.35
Yr Constructed	2022	Deck Area (m2)	241
Yr Rehabilitated	N/A	Load Posting	None
Inspection Date	05-Oct-22	Current AADT	0-004
Previous Inpsection	13-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The asphalt paved roadway over the structure is in good condition. There are hazard markers at all four corners. There is steel beam guiderail over the structure with SoftStop end treatments in very good condition. The HDPE pipes are in very good condition. The stainless steel anchors are in good condition. The concrete cut-off walls are in very good condition. Rip-rap has been placed at the east and west side slopes at the structure.

Recommendation

None.

General Overall Condition	Very Good	Priority Rating	Adequate	Current BCI	98
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	45

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Gents Road (Side Road 18)

ID Number 0003

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total \$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total \$0.00

Total **\$0.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0402-0436

Measurements Span = 3 x 3.35m
Length = 24m
Fill= 0.8m

Additional Notes

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Gents Road (Side Road 18)
0003



Photograph No. 1: 0403: Roadway over the structure, looking north.



Photograph No. 2: 0420: West elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Gents Road (Side Road 18)
0003



Photograph No. 3: 0430: East elevation.



Photograph No. 4: 0424: Interior of barrel (typical).

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Malowany Road (Side Road 14)	ID Number	0004
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	400m south of Feeder Street East	Number of Spans	1
Structure Type	RF	Span Lengths (m)	7.32
Yr Constructed	1951	Deck Area (m2)	80
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	0-400
Previous Inpsection	14-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is in good condition. There are hazard markers at all four corners of the structure. The east curb is in poor condition with severe scaling. There is severe concrete disintegration and leakage along the exterior face of the east curb. The west curb is generally in good condition; however, there is a medium spall at the north end with exposed reinforcing steel. The west concrete railing is in fair to good condition. The east concrete railing is in fair to poor condition due to areas of concrete scaling along the top surface. There is severe concrete disintegration with exposed corroded reinforcing steel at this location. The concrete wingwalls are generally in good condition. The west bridge deck fascia is generally in good condition. The east fascia is in fair condition with isolated medium spalling and concrete disintegration. There is a vertical crack with efflorescent staining at the construction joint between the bridge deck and wingwall at the southwest corner of the structure. The bridge deck soffit is generally in fair condition. There is a medium spall and medium concrete delamination along two wide longitudinal cracks near the center of the bridge deck with evidence of leakage and efflorescent staining. There are additional medium to wide cracks through the soffit extending into the abutment walls. The abutment walls are generally in good condition with vertical cracking and concrete segregation at various locations. There is light scour along the creek water level. There is a utility attached to the west side of the bridge deck. Rip rap erosion protection has been placed on the northeast slope adjacent to the bridge at the location of a drain.

Recommendation

We recommend a Condition Survey NOW in view of rehabilitating the structure. Minimum rehabilitation work would include: patch, waterproof, and pave, and replacing the parapet walls. We also recommend that the Township review their roadside safety policy with respect to installing SBGRs to the ends of the concrete railings.

General Overall Condition	Fair	Priority Rating	NOW	Current BCI	61
Estimated Total Cost	\$485,000.00	Implementation Ranking	Medium	Previous BCI	62

Friday, October 21, 2022

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Malowany Road (Side Road 14)	ID Number	0004
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Recommended Rehabilitation

RSP - Rehabilitate Superstructure
RSB - Rehabilitate Substructure
RIR - Railing Improvement/Replacement
PWP - Patch Waterproof and Pave
C/S - Condition Survey

Engineering Cost

Engineering - PWP, RIR	\$60,000.00
Engineering - C/S	\$25,000.00
Sub Total	\$85,000.00

Construction Cost

RIR - Steel Beam Guide Rail	\$60,000.00
PWP, RIR - Rehabilitate Structure	\$250,000.00
RSP, RSB - Rehabilitate Structure	\$90,000.00
	\$0.00
	\$0.00
Sub Total	\$400,000.00
Total	\$485,000.00

Inspected By	Robert Ellis and Jordan Marcella
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Photos	0203-0232
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Measurements	Span = 7.32m Length = 9.75m Width = 8.23m
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Additional Notes

Friday, October 21, 2022

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Malowany Road (Side Road 14)
0004



Photograph No. 1: 0204: Roadway over the structure looking north.



Photograph No. 2: 0225: East elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Malowany Road (Side Road 14)
0004



Photograph No. 3: 0230: Underside and south abutment wall.



Photograph No. 4: 0229: Spall near mid span.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Dixie Road Bridge (Side Road 16)	ID Number	0005
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	200m south of Feeder Road	Number of Spans	1
Structure Type	RF	Span Lengths (m)	7.92
Yr Constructed	1951	Deck Area (m2)	80
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	0-400
Previous Inpsection	14-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The gravel roadway over the structure is generally in good condition. There is a curve in the roadway directly north of the structure. There are hazard markers at the northwest and southeast ends of the concrete railings. The concrete curbs on both sides of the roadway are in poor condition with severe scaling, concrete disintegration, and areas of exposed reinforcing steel. The concrete railings are in fair to poor condition with narrow vertical cracks with efflorescent staining and concrete disintegration (most notably on the east railing). The concrete wingwalls are generally in fair condition with areas of narrow cracking with efflorescent staining. There is extensive longitudinal cracking and efflorescent staining at the top of the northeast wingwall. There is severe leakage, longitudinal cracking, concrete disintegration, and efflorescent staining throughout both the east and west fascias. The bridge deck soffit is generally in poor condition. There are numerous longitudinal cracks, areas of severe concrete disintegration, with efflorescent staining indicating leakage through the bridge deck, particularly at the exterior edges and along the center line. The abutment walls are in fair condition with numerous vertical cracks and light scour along the creek water level. There is a utility attached to the west side of the bridge deck. There is also a utility / hose running through the creek on the west side.

Recommendation

We recommend scheduling this structure for replacement in 1-5 Years.

General Overall Condition	Poor	Priority Rating	1-5 Years	Current BCI	57
Estimated Total Cost	\$1,035,000.00	Implementation Ranking	Medium	Previous BCI	59

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Dixie Road Bridge (Side Road 16) **ID Number** 0005

Recommended Rehabilitation

RSL - Replace Same Location

Engineering Cost

Engineering - RSL	\$135,000.00
	\$0.00
Sub Total	\$135,000.00

Construction Cost

RSL - Replace Structure	\$900,000.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
Sub Total	\$900,000.00
Total	\$1,035,000.00

Inspected By Robert Ellis and Jordan Marcella

Photos 0152-0202

Measurements Span = 7.93m
Length = 9.75m
Width = 9.75m
Skew = 20 degrees

Additional Notes

Friday, October 21, 2022

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Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dixie Road Bridge (Side Road 16)
0005



Photograph No. 1: 0152: Gravel roadway over the structure, looking north.



Photograph No. 2: 0175: East elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dixie Road Bridge (Side Road 16)
0005



Photograph No. 3: 0185: Underside of structure and south abutment.



Photograph No. 4: 0154: Concrete curb and railing at southeast corner.

Friday, October 21, 2022

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Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Misener Road	ID Number	0007
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	500m north of Hwy. 3	Number of Spans	1
Structure Type	OTHER Comp. Fibre-Glass on Steel Beam Deck	Span Lengths (m)	8.53
Yr Constructed	1950, 2010	Deck Area (m2)	77
Yr Rehabilitated	2019	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	0-400
Previous Inpsection	13-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The asphalt paved roadway over the structure is in good condition. There is thrie-beam guiderail over the structure with leaving ends at all four corners. Numerous connecting bolts for steel beam guide rail posts and girder/deck connections are starting to corrode. The bolted steel connections for the deck sections are generally lightly corroded. The coating system has failed at various locations throughout the structural steel work. There is medium to severe corrosion with loss of cross section area throughout the centerline girder due to leakage through the joint between the two fiber glass deck units. The new concrete poured on top of the existing abutments is generally in poor condition with numerous areas of severe segregation at various locations. Concrete has been poured against the external girders prohibiting the inspection of the outer end sections of the girders at the bearings. Concrete has also been placed on top of existing deteriorated abutment concrete. At the southwest corner it appears that the ballast wall does not extend down to the top of the abutment and granular is spilling out onto the bearing seat. The original concrete abutments are in fair condition with areas of cracking and efflorescent staining. Riprap has been placed at all four corners of the structure. There is a utility on the west side which is temporarily secured and covered in debris. There are burn holes evident in the steel beam guide rail posts that have not been repaired.

Recommendation

We recommend removing the formwork NOW from any concrete poured in 2010. After the formwork is removed we recommend repairing the ballast walls. We also recommend monitoring the centre girder for on-going corrosion and any additional section loss.

General Overall Condition	Fair	Priority Rating	NOW	Current BCI	65
Estimated Total Cost	\$5,000.00	Implementation Ranking	Medium	Previous BCI	68

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Misener Road

ID Number 0007

Recommended Rehabilitation

MIS - Miscellaneous - Other Work

Remove Concrete Formwork

Monitor Centre Girder for Additional Section Loss

Engineering Cost

\$0.00

\$0.00

Sub Total \$0.00

Construction Cost

MIS - Remove Concrete Formwork and \$5,000.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total \$5,000.00

Total **\$5,000.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0469-0522

Measurements Span = 8.53m
Length = 9.75m
Width = 8.0m

Additional Notes Existing abutments constructed in 1950. New superstructure constructed in 2010.
2019: waterproof and paved and riprap placed at all four corners.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Misener Road
0007



Photograph No. 1: 0469: Roadway over the structure, looking south.



Photograph No. 2: 0503: East elevation

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Misener Road
0007



Photograph No. 3: 0485: Underside of structure looking north



Photograph No. 4: 0487: Severe corrosion of center girder (typical).

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Perry Road (Side Road 30)	ID Number	0010
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	200m north of Hwy. 3	Number of Spans	1
Structure Type	SOSG	Span Lengths (m)	7.32
Yr Constructed	1935	Deck Area (m2)	68
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	12-Oct-22	Current AADT	0-400
Previous Inpsection	13-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

This structure carries Perry Road over Big Forks Creek. The roadway over the structure is surface treated and in good condition with some light settlement south of the structure. The roadway has been asphalt patched immediately south of the structure over the settled area. The steel pipe railings are in fair condition with light to medium corrosion where the coating system has failed. The steel pipe railings do not meet current roadside safety requirements. There are drainage holes on both sides of the bridge. The east drain is blocked, and the west drains are partially blocked. There are hazard markers at all four ends of the railings. The concrete curbs/headwalls are generally in good condition. However, the concrete curbs/headwalls on the wingwalls at both the northeast and northwest corners of the structure are in poor condition with severe scaling, efflorescent staining and cracking. The concrete wingwalls are in fair to good condition.

The bridge deck soffit is generally in fair to good condition with areas of light spalling at various locations adjacent to the top flanges of the girders. The structural steel girders are seated directly onto the concrete bearing seats. The structural steel girders are generally in fair condition. However, the ends of the girders are in poor condition. There are areas of severe corrosion and loss of cross sectional area at the ends of several of the girders at the bearing seats. There is a large perforation in the web at the south end of the second girder from the east. The coating system has completely failed and there is light corrosion throughout the girders with various areas of medium corrosion. There appears to be a sag in the east and west exterior girders. There are several areas of leakage between the ballast wall and bridge deck evident along the faces of the abutments. There is a wide horizontal crack in the south ballast wall extending from the west side to the center. The concrete abutments are generally in fair to good condition. There are two areas of severe concrete scour along the south abutment at the creek water level. There are areas of light to medium efflorescent staining and vertical cracking at the east end of the north abutment. There are areas of severe concrete disintegration at all four corners of the abutment bearing seats.

Recommendation

We recommend replacing the structure in 1-5 years.

General Overall Condition	Poor	Priority Rating	1-5 Years	Current BCI	58
Estimated Total Cost	\$920,000.00	Implementation Ranking	Medium	Previous BCI	60

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Perry Road (Side Road 30) **ID Number** 0010

Recommended Rehabilitation

RSL - Replace Same Location

Engineering Cost

Engineering - RSL	\$120,000.00
	\$0.00
Sub Total	\$120,000.00

Construction Cost

Replace Structure - RSL	\$800,000.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
Sub Total	\$800,000.00
Total	\$920,000.00

Inspected By Robert Ellis and Jordan Marcella

Photos 0001-0092

Measurements Span = 7.32m
Length = 11.58m
Width = 8.0m

Additional Notes Load Capacity Evaluation completed in 2007, no posting was required.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Perry Road (Side Road 30)
0010



Photograph No. 1: 0005: Surface treated roadway over the structure, looking north.



Photograph No. 2: 0033: West elevation.

Friday, October 21, 2022

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Perry Road (Side Road 30)
0010



Photograph No. 3: 0049: Underside and south abutment.



Photograph No. 4: 0062: Severe corrosion and perforation at second girder from the east on the south side.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Dixie Road Bridge	ID Number	0011
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Dixie Road, 0.55km north of Garringer Road	Number of Spans	1
Structure Type	RF	Span Lengths (m)	3.7
Yr Constructed	Unknown	Deck Area (m2)	30
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	Unknown
Previous Inspection	14-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The granular roadway over the culvert is generally in good condition. There are hazard markers at the southeast and northwest corners of the culvert. The bridge deck soffit, abutments, wingwalls and headwalls are in fair to good condition. There are isolated spalls with exposed corroded reinforcing steel. There are isolated areas on the south side of the deck soffit that exhibit corroded wire, most likely from construction. The south footing is exposed by approximately 150mm. There is light erosion at the northwest and southwest corners of the structure.

Recommendation

None.

General Overall Condition	Good	Priority Rating	Adequate	Current BCI	72
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	73

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Dixie Road Bridge

ID Number

0011

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total

\$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total

\$0.00

Total

\$0.00

Inspected By

Robert Ellis and Jordan Marcella

Photos

0128-0151

Measurements

Span = 3.7m

Length = 8.1m

Additional Notes

The Township reviewed the need for steel beam guiderails in 2017 and no hazards were identified.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dixie Road Bridge
0011



Photograph No. 1: 0128: Roadway over the structure looking south.



Photograph No. 2: 0146: West elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dixie Road Bridge
0011



Photograph No. 3: 0134: East elevation.



Photograph No. 4: 0137: Underside of structure looking west.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Malowany Road	ID Number	0012
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Malowany Road (Sideroad 14), 0.8km north of Garringer Road	Number of Spans	1
Structure Type	RF	Span Lengths (m)	4.4
Yr Constructed	Unknown	Deck Area (m2)	36
Yr Rehabilitated	Unknown	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	Unknown
Previous Inspection	14-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is generally in good condition with light settlement and map cracking along the east shoulder. There are hazard markers at all four corners of structure. The bridge deck soffit is in good condition. The concrete abutments are generally in good condition. There is an area of light concrete spalling with exposed reinforcing steel at the top of the south abutment wall. The concrete wingwalls are in fair condition. There is concrete deterioration and efflorescent staining at the top of the northwest wingwall. There are areas of narrow cracking with efflorescent staining at the tops of the wingwalls at all four corners. There is a utility attached to the west side of the structure. Riprap has been placed along the north footing.

Recommendation

None.

General Overall Condition	Good	Priority Rating	Adequate	Current BCI	72
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	72

Friday, October 21, 2022

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Malowany Road

ID Number

0012

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total

\$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total

\$0.00

Total

\$0.00

Inspected By

Robert Ellis and Jordan Marcella

Photos

0097-0127

Measurements

Span = 4.4m

Length = 8.1m

Additional Notes

The Township reviewed the need for steel beam guiderails in 2017 and no hazards were identified.
2021: Riprap placed along north footing.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Malowany Road
0012



Photograph No. 1: 0097: Roadway over the structure looking north.



Photograph No. 2: 0116: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Malowany Road
0012



Photograph No. 3: 0122: Underside looking northeast.



Photograph No. 4: 0108: Spalling in south abutment.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Zion Road Bridge	ID Number	0013
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Zion Road Bridge (Sideroad 36), 0.1km north of Hwy 3	Number of Spans	1
Structure Type	RF	Span Lengths (m)	3.8
Yr Constructed	Unknown	Deck Area (m2)	42
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	12-Oct-22	Current AADT	Unknown
Previous Inpsection	13-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is generally in fair condition with a longitudinal crack in the center of the roadway and light settlement on the shoulders and at the extents of the structure and on the approach roadway. There are no steel beam guide rails installed at this location. There are hazard markers at all four corners of the structure. The bridge deck soffit is in fair to poor condition with areas of extensive narrow map cracking with efflorescent staining. There is severe concrete disintegration, spalling, and exposed corroded reinforcing steel at both ends of the bridge deck soffit. The concrete abutment sidewalls are in poor condition with areas of medium to wide cracks, efflorescent staining, leakage, and delamination. The wing walls are in poor condition with cracking and efflorescent staining. There is a bell utility line attached to the east side of the structure.

Recommendation

We recommend scheduling this structure for replacement in 1-5 Years.

General Overall Condition	Poor	Priority Rating	1-5 Years	Current BCI	50
Estimated Total Cost	\$575,000.00	Implementation Ranking	Medium	Previous BCI	51

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Zion Road Bridge

ID Number

0013

Recommended Rehabilitation

RSL - Replace Same Location

Engineering Cost

Engineering - RSL	\$75,000.00
	\$0.00
Sub Total	\$75,000.00

Construction Cost

RSL- Replace Structure	\$500,000.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
Sub Total	\$500,000.00
Total	\$575,000.00

Inspected By Robert Ellis and Jordan Marcella

Photos 0093-0126

Measurements Span = 3.8m
Length = 11m

Additional Notes

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Zion Road Bridge
0013



Photograph No. 1: 0094: Roadway over structure looking north.



Photograph No. 2: 0126: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Zion Road Bridge
0013



Photograph No. 3: 0117: Interior of culvert looking east.



Photograph No. 4: 0112: Exposed corroded reinforcing steel at west end.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Zion Road CSP	ID Number	0014
Classification	<input type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input checked="" type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Zion Road (Sideroad 38), 1.0 km north of Hwy 3	Number of Spans	1
Structure Type	SSMP	Span Lengths (m)	3.3
Yr Constructed	Unknown	Deck Area (m2)	50
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	12-Oct-22	Current AADT	Unknown
Previous Inspection	13-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is in good condition. There are no hazard markers on the roadway approaches. The soil steel multi-plate structure is generally in fair to good condition with light to medium corrosion at and below the waterline. There are isolated areas of severe corrosion with light section loss at and below the waterline. There appears to be a deformation of the crown under the roadway and efflorescent staining on the bolt connections throughout the structure. The headwalls consist of loose concrete rubble and are in poor condition. There are numerous voids in the concrete rubble headwalls. There is light erosion on both sides of the roadway adjacent to the headwalls.

Recommendation

None.

General Overall Condition	Fair	Priority Rating	Adequate	Current BCI	68
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	70

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Zion Road CSP

ID Number

0014

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total

\$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total

\$0.00

Total

\$0.00

Inspected By

Robert Ellis and Jordan Marcella

Photos

0127-0159

Measurements

Span = 3.3m

Length = 15.2m

Fill= 0.4m

Additional Notes

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Zion Road CSP
0014



Photograph No. 1: 0127: Roadway over the structure looking south.



Photograph No. 2: 0145: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Zion Road CSP
0014



Photograph No. 3: 0153: Interior of structure looking east.



Photograph No. 4: 0146: Corrosion at waterline (typical).

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Zion Road Bridge	ID Number	0015
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Zion Road (Sideroad 38), 1.1km north of Hwy 3	Number of Spans	1
Structure Type	RF	Span Lengths (m)	4.4
Yr Constructed	Unknown	Deck Area (m2)	35
Yr Rehabilitated	2013	Load Posting	No Posting
Inspection Date	12-Oct-22	Current AADT	Unknown
Previous Inpsection	13-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The asphalt paved roadway over the structure is generally in good condition with is light settlement with longitudinal and transverse cracking at the southwest corner of the roadway. The thrie beam and approach steel beam guide rail is in good condition, however, the thrie beam railings appear to be low. There are terminal ends at all four corners of the guiderail. There are hazard markers at the ends of the guide rail at all four corners. The existing central portion of the concrete structure is in fair to good condition with isolated narrow cracking, honeycombing and efflorescent staining. The reconstructed exterior ends of the bridge deck are in good condition. The concrete abutment walls are in good condition. The patch repaired concrete wingwalls are generally in good condition with areas of narrow cracking and light efflorescent staining. There is light erosion at all four corners of the structure.

Recommendation

None.

General Overall Condition	Good	Priority Rating	Adequate	Current BCI	72
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	73

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Zion Road Bridge

ID Number

0015

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total

\$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total

\$0.00

Total

\$0.00

Inspected By

Robert Ellis and Jordan Marcella

Photos

0160-0207

Measurements

Span = 4.4m

Length = 8m

Additional Notes

2013 - Reconstruction of the bridge deck ends, concrete patch repair of the wingwalls, and installation of three beam and steel beam guiderail, and waterproof and pave.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Zion Road Bridge
0015



Photograph No. 1: 0160: Roadway over the structure looking north.



Photograph No. 2: 0201: West elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

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Township of Wainfleet
2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

**Zion Road Bridge
0015**



Photograph No. 3: 0171: East elevation.



Photograph No. 4: 0200: Bridge deck soffit and north abutment looking northeast.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Pearson Lincoln and Welland Bridge	ID Number	0016
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Boyle Road, 0.5 km North of River Rd. (RR27)	Number of Spans	2
Structure Type	SOCG	Span Lengths (m)	26.9, 26.9
Yr Constructed	1965	Deck Area (m2)	662
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	04-May-21	Current AADT	191
Previous Inpsection	30-May-19	Date AADT	
Next Inspection	2023	Board Order/ Agreement	<input checked="" type="checkbox"/>

Effects of Deterioration

NOTE: This structure is not inspected by the Township of Wainfleet. This structure was inspected by the Township of West Lincoln in 2021:

The asphalt approach roadways are in fair to good condition with light raveling settlement at the edges of the roadway. The exposed concrete bridge deck top is in fair to poor condition with asphalt patches along the centre of the deck and areas of delamination throughout. There is water pooling along the edges of the deck top. There is no traffic protection provided along the approaches of the structure. There are hazard markers at all four corners of the structure. The steel barrier railings over the structure are in fair condition with light to medium corrosion throughout where the coating system has failed. There is also vehicular damage on the east side of the railing. The concrete curbs are generally in good condition with cracking and small spalls at the centre of the bridge.

The bridge deck soffit is in fair to poor condition with narrow cracking with efflorescent staining and leakage. The concrete girders are generally in good condition with light deterioration at the abutments. The concrete diaphragms are generally in good condition. The visible portions of the concrete ballast walls are generally in fair condition with evidence of leakage and efflorescent staining throughout. The concrete wingwalls and abutments are in fair to good condition with isolated narrow vertical cracks with efflorescent staining. The west side of the north abutment is severely undermined (approximately 5m long x 2m wide x 0.5m deep). It was noted that two of the steel tube piles for the north abutment are visible at this location. The elastomeric bearings appear to be in good condition. The piers are generally in good condition with light corrosion at the waterline. The pier cap is generally in fair condition with narrow cracking, leakage, and isolated areas of spalling with exposed corroded reinforcing steel. There is active leakage through the centre deck top joint onto the pier cap. The deck drains are in poor condition with medium to severe corrosion with section loss. There is light to medium erosion at all four corners.

Recommendation

NOTE: This structure is not inspected by the Township of Wainfleet. This structure was inspected by the Township of West Lincoln in 2021:

We recommend pumping unshrinkable fill in the void under the north abutment, replacing the damaged section of steel railing and post, and installing steel beam guiderail at the ends of the structure NOW. We understand that a deck condition survey has been completed. We recommend that a Rehabilitation/Replacement Analysis and Load Capacity Evaluation be completed NOW to determine if it is most economical to complete a minor rehabilitation, deck replacement or replace the structure in 10-20 years. Rehabilitation may include cleaning and coating the pier pipe piles, replacing the expansion joints (or semi-integral conversion) at both ends of the bridge to prevent further deterioration of the bridge components, repairs to the ends of the girders, replace the bearings, concrete patch repairs, construct concrete parapet walls, install steel beam guiderail and overlay, waterproof and pave. The estimated cost of a major rehabilitation is in the order of \$2,000,000.

General Overall Condition	Fair	Priority Rating	NOW	Current BCI	60
Estimated Total Cost	\$150,000.00	Implementation Ranking	Medium	Previous BCI	62

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Pearson Lincoln and Welland Bridge **ID Number** 0016

Recommended Rehabilitation

RIR - Railing Improvement/Replacement

LCE - Load Capacity Evaluation
RRA - Rehabilitation Replacement Analysis Replacement
MIS - Miscellaneous - Other Work
Unshrinkable Fill

Engineering Cost

Engineering - RRA & LCE	\$30,000.00
Engineering - RIR & MIS	\$15,000.00
Sub Total	\$45,000.00

Construction Cost

MIS - Unshrinkable Fill	\$25,000.00
RIR - Steel Beam Guiderail & Railing Re	\$80,000.00
	\$0.00
	\$0.00
	\$0.00
Sub Total	\$105,000.00
Total	\$150,000.00

Inspected By Darryl Bakker and Robert Ellis

Photos 4764-4970, 0550-0564

Measurements Span = 26.9m + 26.9m = 53.8m, Width = 12.3m

Additional Notes Previous Name: Gainsboro Con 1 Lot 25, "Pearson Bridge".
Structure is on boundaries of Township of Wainfleet and West Lincoln.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Pearson Lincoln and Welland Bridge 0016



Photograph No. 1: 4765: Roadway over the structure looking north.



Photograph No. 2: 0552: West elevation.

Township of Wainfleet
2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Pearson Lincoln and Welland Bridge
0016



Photograph No. 3: 4963: Underside of the structure looking south.



Photograph No. 4: 4828: Large void under north abutment.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Dawson Lincoln and Welland Bridge	ID Number	0017
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Caistor Gainsborough Townline Road, 1.0km north of Canborough	Number of Spans	2
Structure Type	SOSG	Span Lengths (m)	24.8, 24.8
Yr Constructed	1965	Deck Area (m2)	575
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	04-Jun-21	Current AADT	1082
Previous Inpsection	14-Aug-19	Date AADT	
Next Inspection	2023	Board Order/ Agreement	<input checked="" type="checkbox"/>

Effects of Deterioration

NOTE: This structure is not inspected by the Township of Wainfleet. This structure was inspected by the Township of West Lincoln in 2021:

The surface treated approach roadways are generally in good condition with light settlement at the extents of the structure. The surface treated roadway over the structure is in fair condition with patched and unpatched potholes, as well as deterioration along the edges of the roadway. There are transverse cracks at the extents of the structure and at the pier. There are steel beam guiderails at all four corners with extruder end treatments. However, the guiderails are not connected to the structure. There is light damage to the southeast guiderail. The steel barrier railings over the structure are in fair condition with light to medium corrosion throughout and the coating system has failed. There is an isolated area of vehicular damage to the west railing near the south end. There is an isolated area where the concrete has cracked around the bottom of a steel post at centre-span. The concrete curbs are generally in good condition.

The bridge deck soffit is generally in good condition with isolated narrow cracks and efflorescent staining. There is light deterioration and areas of light delamination in the south portion of the bridge deck soffit. The bridge deck overhangs are generally in good condition however, there are no drip edges. There is cracking and light spalls in the overhang at the expansion joint over the pier. The pre-stressed concrete girders are generally in good condition. There are light spalls at the ends of the girders. The bearings are in fair condition with light bulging. The concrete diaphragms are generally in good condition. There are isolated light to medium spalls with exposed corroded reinforcing steel on the diaphragms on the south abutment. There is evidence of leakage through all three expansion joints onto the diaphragms. The concrete abutments are generally in good condition with isolated narrow to wide vertical cracks. The visible portions of the steel pier pipe piles are in fair to good condition with light to medium corrosion at and above the waterline. The pier cap is in fair condition with isolated areas of light spalling, cracking, efflorescent staining, and concrete deterioration, especially at the ends. The deck drains are in fair to poor condition with medium to severe corrosion and section loss. There is a utility running along the east side of the structure.

Recommendation

NOTE: This structure is not inspected by the Township of Wainfleet. This structure was inspected by the Township of West Lincoln in 2021:

A condition survey was completed in 2013. We recommend completing a condition survey in 6-10 Years in view of rehabilitating the structure. The minimum rehabilitation work would include: patch, waterproof, and pave, replacing the steel railings, replacing the deck drains, installing drip edges, cleaning and coating the pier pipe piles, replacing the bearings, and replace expansion joints.

General Overall Condition	Good	Priority Rating	6-10 Years	Current BCI	71
Estimated Total Cost	\$1,760,000.00	Implementation Ranking	Medium	Previous BCI	72

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Dawson Lincoln and Welland Bridge	ID Number	0017
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Recommended Rehabilitation

CSS - Coat Structural Steel

RSP - Rehabilitate Superstructure

RSB - Rehabilitate Substructure

RIR - Railing Improvement/Replacement

PWP - Patch Waterproof and Pave

C/S - Condition Survey

TJR - Transverse Expansion Joint Replacement

Engineering Cost

Engineering - PWP, RSB, RSP, CSS, TJ	\$225,000.00
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Engineering - C/S	\$35,000.00
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Sub Total	\$260,000.00
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Construction Cost

PWP, RSB, RSP, RIR, CSS - Rehabiliat	\$1,500,000.00
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\$0.00

\$0.00

\$0.00

\$0.00

Sub Total	\$1,500,000.00
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Total	\$1,760,000.00
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Inspected By	Arih Struger-Kalkman and Jessica Di Pasquale
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Photos	1940-2052
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Measurements	Span = 24.8m + 24.8m = 49.6m Width = 11.6m
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Additional Notes	Previous Name: Caistor Con 2 Lot 1. Structure is on boundaries of Township of Wainfleet and West Lincoln.
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Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dawson Lincoln and Welland Bridge

0017



Photograph No. 1: 6282: Roadway over the structure looking north.



Photograph No. 2: 0623: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Dawson Lincoln and Welland Bridge 0017



Photograph No. 3: 6466: Underside of the structure looking north.



Photograph No. 4: 6448: Deterioration at the end of the girder (typ).

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Shields Road Bridge (Record 1 of 2, NOW)	ID Number	0018
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	0.6km north of Forks Road	Number of Spans	1
Structure Type	OTHER Timber Deck on Steel Girder	Span Lengths (m)	8
Yr Constructed	Unknown	Deck Area (m2)	40
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	Unknown
Previous Inspection	13-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The roadway is posted 'NOT for public use' and is not maintained. The bridge approaches are gravel, and the bridge deck is loosely placed 2 x 10 timber planks. There are no railings on the approaches or over the bridge structure. There may have been a concrete bridge deck at one time, which has been replaced with timber planks. The timber planks are generally in good condition. Several of the timber planks have become loose. The construction is unusual in that the girders are supported by steelwork which has been placed adjacent to the concrete abutments. Generally, the steelwork is in fair condition. The base plates of the vertical steel beams are severely corroded (more notably on the north side). There is a void in the center of the north concrete abutment.

There is a second record for this structure with recommendations for 6-10 Years.

Recommendation

We do not recommend vehicular use of this bridge without completing a load capacity evaluation. We recommend either closing the bridge to vehicular traffic or completing a load capacity evaluation NOW.

General Overall Condition	Poor	Priority Rating	NOW	Current BCI	42
Estimated Total Cost	\$7,000.00	Implementation Ranking	High	Previous BCI	43

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Shields Road Bridge (Record 1 of 2, NOW) **ID Number** 0018

Recommended Rehabilitation

LCE - Load Capacity Evaluation

MIS - Miscellaneous - Other Work

Close Bridge

Engineering Cost

Engineering - LCE \$7,000.00

\$0.00

Sub Total \$7,000.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total \$0.00

Total **\$7,000.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0437-0468

Measurements Span = 8m
Width = 5m

Additional Notes

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Shields Road Bridge (Record 1 of 2, NOW)

0018



Photograph No. 1: 0437: Approach gravel roadway looking north.



Photograph No. 2: 0443: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet
2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Shields Road Bridge (Record 1 of 2, NOW)
0018



Photograph No. 3: 0447: Underside, looking south.



Photograph No. 4: 0446: Corrosion in vertical steel base plates (typical).

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Shields Road Bridge (Record 2 of 2, 6-10 Years)	ID Number	0018
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	0.6km north of Forks Road	Number of Spans	1
Structure Type	OTHER Timber Deck on Steel Girder	Span Lengths (m)	8
Yr Constructed	Unknown	Deck Area (m2)	40
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	Unknown
Previous Inspection	13-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The roadway is posted 'NOT for public use' and is not maintained. The bridge approaches are gravel, and the bridge deck is loosely placed 2 x 10 timber planks. There are no railings on the approaches or over the bridge structure. There may have been a concrete bridge deck at one time, which has been replaced with timber planks. The timber planks are generally in good condition. Several of the timber planks have become loose. The construction is unusual in that the girders are supported by steelwork which has been placed adjacent to the concrete abutments. Generally, the steelwork is in fair condition. The base plates of the vertical steel beams are severely corroded (more notably on the north side). There is a void in the center of the north concrete abutment.

There is a second record for this structure with recommendations for NOW.

Recommendation

We recommend scheduling the bridge for replacement in 6-10 Years. The Township may also consider removing the structure.

General Overall Condition	Poor	Priority Rating	6-10 Years	Current BCI	42
Estimated Total Cost	\$690,000.00	Implementation Ranking	Medium	Previous BCI	43

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Shields Road Bridge (Record 2 of 2, 6-10 Years)

ID Number

0018

Recommended Rehabilitation

RSL - Replace Same Location

Engineering Cost

Engineering - RSL	\$90,000.00
	\$0.00
Sub Total	\$90,000.00

Construction Cost

RSL - Replace Structure	\$600,000.00
	\$0.00
	\$0.00
	\$0.00
	\$0.00
Sub Total	\$600,000.00
Total	\$690,000.00

Inspected By Robert Ellis and Jordan Marcella

Photos 0437-0468

Measurements Span = 8m
Width = 5m

Additional Notes

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Shields Road Bridge (Record 2 of 2, 6-10 Years)

0018



Photograph No. 1: 0437: Approach gravel roadway looking north.



Photograph No. 2: 0443: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet
2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Shields Road Bridge (Record 2 of 2, 6-10 Years)
0018



Photograph No. 3: 0447: Underside, looking south.



Photograph No. 4: 0446: Corrosion in vertical steel base plates (typical).

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Church Street Bridge	ID Number	0019
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	Church Street, 10m west of Mill Race Street	Number of Spans	1
Structure Type	RF	Span Lengths (m)	5.4
Yr Constructed	c.1950	Deck Area (m2)	42
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	Unknown
Previous Inpsection	14-Jul-20	Date AADT	
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The surface treated roadway over the structure is generally in fair condition with transverse cracks and light settlement at the structure extents and longitudinal cracks over the structure. The deck is partially exposed along the north curb. The south curb is in poor condition with medium to severe concrete disintegration. The south curb appears to be rotated outward slightly. The north curb is in fair to poor condition. The north and south headwalls are generally in fair condition. There is extensive efflorescent staining between the curbs and headwalls on both sides. The concrete wingwalls are generally in fair condition with areas of cracking and efflorescent staining. The concrete deck soffit is generally in fair condition. There is a longitudinal crack along the center of the soffit with efflorescent staining. There is also cracking and efflorescent staining at the joint between the soffit and abutment sidewalls. The abutment sidewalls are generally in fair condition with areas of cracking and efflorescent staining. There is a wide crack in the west abutment sidewall at the center. There is light to medium scaling at the bottoms of the sidewalls.

Recommendation

We recommended rehabilitating the structure in 1-5 Years. Rehabilitation work would include patch, waterproof, pave, removal of curbs, and replacement with thrie beams or parapet walls, and patch repair of the bridge deck soffit.

General Overall Condition	Fair	Priority Rating	1-5 Years	Current BCI	60
Estimated Total Cost	\$253,000.00	Implementation Ranking	Medium	Previous BCI	61

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Church Street Bridge

ID Number

0019

Recommended Rehabilitation

RSP - Rehabilitate Superstructure

RSB - Rehabilitate Substructure

RIR - Railing Improvement/Replacement

PWP - Patch Waterproof and Pave

Engineering Cost

Engineering - RIR, RSP, RSB, PWP \$33,000.00

\$0.00

Sub Total \$33,000.00

Construction Cost

RIR - Guide Rail \$110,000.00

RSP, RSB - Concrete Patch Repairs \$50,000.00

PWP - Patch, Waterproof, Pave \$60,000.00

\$0.00

\$0.00

Sub Total \$220,000.00

Total **\$253,000.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0233-0261

Measurements Span = 5.4m
Width = 7.8m

Additional Notes

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Church Street Bridge
0019



Photograph No. 1: 0233: Roadway, looking east.



Photograph No. 2: 0247: South elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Church Street Bridge
0019



Photograph No. 3: 0251: Soffit, and west abutment looking east.



Photograph No. 4: 0255: Crack in bridge deck soffit.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name	Quarrie Road (Side Road 6)	ID Number	2001
Classification	<input checked="" type="checkbox"/> Bridge <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Culvert <input type="checkbox"/> Municipal	Previous ID Number	N/A
Location	1.1km south of Hwy. 3	Number of Spans	1
Structure Type	RF	Span Lengths (m)	5.5
Yr Constructed	2008	Deck Area (m2)	49
Yr Rehabilitated	N/A	Load Posting	No Posting
Inspection Date	05-Oct-22	Current AADT	400-1000
Previous Inspection	14-Jul-20	Date AADT	1977
Next Inspection	2024	Board Order/ Agreement	<input type="checkbox"/>

Effects of Deterioration

The asphalt roadway over the structure is generally in good condition with a transverse crack near the north end and a longitudinal crack down the center line. The approach roadways are in good condition. There is light erosion at all four corners. There is steel beam guide rail at all four corners in good condition with eccentric loaders at the northwest and southeast corners. There is light damage to the northwest eccentric loader. Several of the timber connection posts have rotated. The bridge structure, parapet walls and approach retaining walls are in good condition. The southeast sub drain outlet has been blocked by concrete fill on the riprap. Silt fence is still in place from the installation of riprap at all four corners.

Recommendation

None.

General Overall Condition	Good	Priority Rating	Adequate	Current BCI	78
Estimated Total Cost	\$0.00	Implementation Ranking		Previous BCI	78

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Structure Name Quarrie Road (Side Road 6) **ID Number** 2001

Recommended Rehabilitation

Engineering Cost

\$0.00

\$0.00

Sub Total \$0.00

Construction Cost

\$0.00

\$0.00

\$0.00

\$0.00

\$0.00

Sub Total \$0.00

Total **\$0.00**

Inspected By Robert Ellis and Jordan Marcella

Photos 0028-0096

Measurements Span = 5.49m
Length = 6.71m
Width = 7.32m

Additional Notes 2021: Riprap and concrete was placed at all four corners.

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Quarrie Road (Side Road 6)

2001



Photograph No. 1: 0035: Asphalt paved roadway over the structure, looking north.



Photograph No. 2: 0086: East elevation.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

Township of Wainfleet

2022 Municipal Bridge/Culvert Appraisal - Rehabilitation/Replacement Needs

Quarrie Road (Side Road 6)
2001



Photograph No. 3: 0068: West elevation.



Photograph No. 4: 0063: Underside of structure looking southeast.

Friday, October 21, 2022

Bridge Management Database: Developed jointly by The Town of Fort Erie and ELLIS Engineering Inc.

Version 2.1

APPENDIX "B"



**2022 STRUCTURE ASSET MANAGEMENT
COST FORECAST (SAMCF)**

October 2022



ELLIS Engineering Inc.
214 Martindale Road, Suite 201
St. Catharines, ON, L2S 0B2
Phone: (905) 934-9049
Web: www.ellis.on.ca



ELLIS
Engineering Inc.



ELLIS
Engineering Inc.

ELLIS Engineering Inc.
Consulting Engineers
214 Martindale Rd, Suite 201
St. Catharines, ON, Canada
L2S 0B2

Tel: (905) 934-9049
Web: www.ellis.on.ca

October 21, 2022

The Township of Wainfleet

31940 Highway No. 3.
Wainfleet, ON L0S 1V0
P.O. Box 40

Attention: Mr. Richard Nan, Manager of Operations

Reference: 2022 Structural Asset Management Cost Forecast
Our File No.: 1079.

We are pleased to submit the 2022 Structure Asset Management Cost Forecast, which expands on information gathered from the 2022 Municipal Bridge/Culvert Appraisal inspection reports. The following report contains information relating to 17 bridge and culvert structures located in the Township of Wainfleet.

Background:

We reviewed the Township of Wainfleet's 2022 Municipal Bridge/Culvert Appraisal, also referenced in this document as "inspection reports" (REF: 2022 Municipal Bridge/Culvert Appraisal, completed by ELLIS Engineering Inc., in October 2022). We also reviewed the 2021 inspection reports for Pearson and Dawson Bridges (Structure No. 0016 and 0017) completed by ELLIS Engineering Inc. for the Township of West Lincoln.

The above structure "inspection reports" formed the basis for the estimation of the expected remaining service life for each structure, as well as the estimated costs for any future replacement and/or rehabilitation needs for each structure.

Expected Remaining Service Life of Existing Structures:

The expected remaining service life (ERSL) was estimated for each existing structure on a case-by-case basis. In general, we have estimated the ERSL based on four criteria (further defined below):

1. The assessed age of the structure.
2. The intended design life.
3. The type of structure.
4. The current condition of the structure as determined by the most recent structure inspections.

1. Age of Structure

The age of some structures could be identified from the inspection reports (Township records, date stamps, etc.). However, the age of other structures was estimated from the type of construction, condition of exposed concrete or other elements, and the age of similar proximal structures.

2. Intended Design Life

Previous to the 2000 Canadian Highway Bridge Design Code (CHBDC, CSA-S6-00), the design life for span bridges was typically 50 years. The 2000 code (and subsequent codes) increased the design service life to 75 years. For structures with estimated dates of construction prior to 2000, an intended design life of 50 years was applied. For structures with estimated dates of construction after 2000, an intended design life of 75 years was applied.

3. Type of Structure

For structures types with high potential for corrosion (such as Corrugated Steel Pipe) an ERS� of approximately 25-30 years was applied. Our experience indicates that the rate of corrosion depends largely on the waterway.

Conversely, in our experience, we have found certain structure types (concrete rigid frames and concrete rigid box culverts) consistently exceed their intended 50 year design life. Depending on the current condition of structure, roadway type, and quality of construction a concrete rigid frame structure may remain in service for 75-100 years.

4. Current Condition of Structure

The ERS� of any structure is closely related to the current condition of the structure as determined by the most recent structure inspection. For example, a structure in poor condition that has been recommended for replacement with a priority rating of 'NOW' would have 0 years of service life remaining. Table 1, below, summarizes the relationship between priority rating and ERS�.

Table 1: ERS� for Structures Recommended for Replacement

Priority Rating	ERSL
NOW	0
1-5 Years	5
6-10 Years	10

Any structure that has not been recommended for replacement in the next 10 years would have an ERS� of 15 years or greater. With all else equal, a structure with a better 'General Overall Condition' or a higher 'Bridge Condition Index' (BCI) would have a greater ERS�.

Estimated Replacement and Rehabilitation Costs:

Where relevant, the estimated replacement and rehabilitation costs from the 2022 Municipal Bridge/Culvert Appraisal were utilized. Those estimates were calculated based on preliminary engineering assumptions. The accuracy of those cost estimates are in an approximated range of plus or minus 20%. The scope of the 2022 Bridge/Culvert Appraisal estimates was for work to be completed in the next 10 years.

For rehabilitation and replacement work beyond the next 10 years, the three following assumptions were utilized as necessary to derive the costs estimates:

1. Design Service Life of 75 years was considered for all replacement structures.
2. No changes made to the roadway geometry or deck cross-section (i.e. single lane structures replaced with single lane structures).
3. Similar hydraulic cross-section and type of foundation.

In general, most structure replacements could be estimated from a unit replacement cost based on the deck area. The unit replacement costs used are based on our experience with structures similar in size and complexity.

In general, rehabilitation costs were estimated assuming a minor rehabilitation for each structure after 25 years of service (20% of replacement cost) and a major rehabilitation for each structure after 50 years of service (40% of replacement cost).

Table 2, below, summarizes the unit replacement and rehabilitation costs that were utilized.

Table 2: Unit Replacement and Rehabilitation Costs for each Structure Type

Structure Type	Replacement Cost (\$/m ² deck area)	Major Rehabilitation Cost (\$/m ² deck area)	Minor Rehabilitation Cost (\$/m ² deck area)
Small Bridge or Culvert (Deck Area < 150m ²)	\$ 9,000	\$ 3,600	\$ 1,800
Large Bridge or Culvert (Deck Area > 150m ²)	\$ 6,500	\$ 2,600	\$ 1,300

Estimated replacement and rehabilitation costs include engineering fees. Design and contract administration fees are estimated as 15% of the construction cost.

Financial Analysis:

The unit cost estimates in Table 2, above, were used (and refined, if applicable) to conduct a net present value financial analysis in general accordance with the Ontario Ministry of Transportation's Structural Financial Analysis Manual. An evaluation period of 75 years was employed. A base discount rate of 2.0% was applied to determine the net present value (NPV) for each structure, enabling a total dollar value to be derived in today's dollars (the applied discount rate is further discussed in the next section) for all anticipated rehabilitation and replacement work on each structure over the next 75 years.

Rehabilitation and replacement life cycle costs (treatments) were applied to each structure on a case-by-case basis in order to produce a realistic net present value model.

The first step was to review any recommendations and/or cost estimates contained in the 2022 Municipal Bridge/Culvert Appraisal reports. If no recommendations existed, then treatments and cost estimates were derived from the relevant inspection data and ERSI of each structure. In general, rehabilitation costs were simplified by assuming a minor rehabilitation for each structure after 25 years of service and a major rehabilitation for each structure after 50 years of service.

A 75-year design service life was used for all replacement structures (required durability for new structures as per the CHBDC). The residual values of all replacement structures at the end of the 75 year evaluation period were not included in the calculation. Residual values are often utilized to compare rehabilitation versus replacement strategies for individual structures; however, they are not applicable when evaluating the lifetime costs associated with managing an entire set of assets.

A net present value was produced for each structure over the evaluation period.

Financial Sensitivity Analysis:

A base discount rate of 2.0% was used. Variable discount rates were used for the analysis to determine the sensitivity of the cost to the applied discount rate. The total cost and total cost per year were found to be sensitive to the discount rate utilized.

The sensitivity analysis was performed by varying the discount rate +/- 1.5% in 0.5% increments in order to produce a variety of present value financial analysis scenarios. The summary of results, presented in the next section, is for a discount rate of 2.0%; however, the complete results, including the sensitivity analysis are included in the Appendix.

Summary of Results:

The results of the net present value financial analysis for a base discount rate of 2.0% are summarized in Table 3, below. Table 4, on the following page, compares the 2022 financial analysis results to two previous analyses, completed in 2020 and 2018.

Table 3: Results of Financial Analysis at a Discount Rate of 2.0%

Scenario	No. of Structures	Total Deck Area (m ²)	Over Entire 75 Year Evaluation Period		Over Next 10 Years Only	
			Total NPV Cost	Total NPV Cost per Year	NPV Cost	NPV Cost per Year
All Bridges and Culverts	17	2,253	\$ 12,991,000	\$ 173,000	\$ 4,933,000	\$ 493,000
Bridges and Culverts, excluding Pearson & Dawson Bridges (Structures 0016 and 0017)	15	1,016	\$ 9,197,000	\$ 123,000	\$ 4,136,000	\$ 414,000

Note: Costs are in 2022 dollars and are rounded to the nearest thousand.

Table 4: Comparison of 2018, 2020, and 2022 Financial Analysis Results at a Discount Rate of 2.0%

Category of Structure	2018 Total NPV Cost per Year	2020 Total NPV Cost per Year	% Change 2018-2020	2022 Total NPV Cost per Year	% Change 2020-2022
All Bridges and Culverts	\$133,455	\$ 166,703	+24.9%	\$ 173,215	+3.9%
Bridges and Culverts, excluding Pearson & Dawson Bridges (Structures 0016 and 0017)	\$ 99,489	\$ 117,377	+18.0%	\$ 122,629	+4.5%

The summary in Table 3, on the previous page, indicates that in order to maintain the current inventory of 17 structures, a total of \$ 12,991,000 (in today's dollars) must be allocated over the next 75 years. The average total cost (in today's dollars) to be allocated is \$ 173,000 each year. The future average total cost per year should be adjusted for inflation.

We note that two structures, Pearson and Dawson Bridges (Structures No. 0016 and 0017) account for approximately 55% of the total deck area for all Wainfleet structures. However, these structures are under shared ownership. For the evaluation, the estimated rehabilitation and replacement costs for these two structures were reduced by 50% to account for cost-sharing with the Township of West Lincoln. With cost-sharing, Pearson and Dawson Bridges still account for approximately 29% of the total net present value cost for the entire structure inventory over the next 75 years. Without these two structures, a total of \$ 9,197,000 (in today's dollars) must be allocated over the next 75 years and the average total cost (in today's dollars) to be allocated would be \$ 123,000 each year.

We also note that a significant portion of the expected costs (in today's dollars) over the 75 year evaluation period are realized in the first 10 years. Considering all 17 bridge and culvert structures, the total net present value cost for the first 10 years is \$ 4,933,000 (approximately 38% of the total costs). Without Pearson and Dawson Bridges, the total net present value cost for the first 10 years is \$ 4,136,000 (approximately 45% of the total costs), or \$ 414,000 per year.

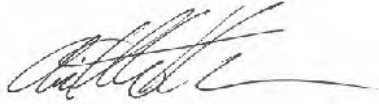
Table 4, above, compares the net present value costs from 2018, 2020, and 2022. The total NPV costs have increased by approximately 4.5% since 2020 (including Pearson and Dawson).

We note that this increase is due to the increase in replacement, major rehabilitation, and minor rehabilitation unit costs. However, the increase was offset by completing the replacement of Gents Road Bridge (Structure No. 0003), and the rehabilitation of Buliung Road Bridge (Structure No. 0002) and Misener Road Bridge (Structure No. 0007).

Closing:

We thank you for giving us the opportunity to provide our services for this very interesting project. Should you have any questions concerning the report, please contact the undersigned.

Yours truly,
ELLIS Engineering Inc.

A handwritten signature in black ink, appearing to read 'A. Struger-Kalkman'.

Arih Struger-Kalkman, P.Eng., M.Eng.
Project Manager

A handwritten signature in black ink, appearing to read 'R. Ellis'.

Robert Ellis
Project Assistant

Attachments:

1. *Structure Asset Management Cost Forecast Spreadsheet - Bridge and Culvert Structures (PDF, 2 pages)*
2. *Structure Asset Management Cost Forecast Spreadsheet - Bridge and Culvert Structures (Microsoft EXCEL Spreadsheet, separate file)*

Township of Wainfleet
2022 Structure Asset Management Cost Forecast

STRUCTURE INFORMATION												(More Inspection Data)-->												NET PRESENT VALUE ANALYSIS												(Treatments)-->												NPV CALCS											

Notes: -Structure 0016 is scheduled for Major Rehab in 2022. Inspection Data Total Cost provided by The Township of Wainfleet.
-Structures 0016 and 0017 rehabilitation and replacement costs include for cost-sharing at 50%
-Structure 0002 and 0007 were rehabilitated in 2021.
-Structure 0003 was replaced in 2022.

Table 1: Unit Costs for Small Structures (Deck Area < 150m ²)		
Replacement Cost (sq.m):	\$ 9,000	(75 Year life for replacement)
Major Rehab Cost (sq.m):	\$ 3,600	(Year 50 from construction)
Minor Rehab Cost (sq.m):	\$ 1,800	(Year 25 from construction)
Table 2: Unit Costs for Large Structures (Deck Area > 150m ²)		
Replacement Cost (sq.m):	\$ 6,500	(75 Year life for replacement)
Major Rehab Cost (sq.m):	\$ 2,600	(Year 50 from construction)
Minor Rehab Cost (sq.m):	\$ 1,300	(Year 25 from construction)

TOTAL: \$ 19,594,572 \$ 16,877,645 \$ 14,722,303 \$ 12,991,089 \$ 11,583,483 \$ 10,425,387 \$ 9,461,719
Total/75 years: \$ 261,261 \$ 225,035 \$ 196,297 \$ 173,215 \$ 154,446 \$ 139,005 \$ 126,156

STRUCTURE INFORMATION												(More Inspection Data)-->												NET PRESENT VALUE ANALYSIS																(Treatments)-->												NPV CALCS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
ID Number	Structure Name	Structure Type	Number of Spans	Span Lengths	Deck Area	Yr Constructed	General Overall Condition	Current BCI	Recommendation	cboPriorityRating1	Total Cost	Year Constructed	Year of Replacement	Discount Rate (DR) =		2 %		Year Rehab No.1	Cost Rehab No.1	Year Rehab No.2	Cost Rehab No.2	Year Rehab No.3	Cost Rehab No.3	Year Rehab No.4	Cost Rehab No.4	Year Rehab No.5	Cost Rehab No.5	Applied Discount Rate (%)	(DR - 1.5)%	(DR - 1.0)%	(DR - 0.5)%	(DR)%	(DR+0.5)%	(DR+1.0)%	(DR+1.5)%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														

Notes: -Structure 0002 and 0007 were rehabilitated in 2021.
-Structure 0003 was replaced in 2022.
-This spreadsheet excludes Pearson and Dawson (Structure No. 0016 & 0017).

Table 1: Unit Costs for Small Structures (Deck Area < 150m ²)										TOTAL: \$ 13,891,231 \$ 11,936,214 \$ 10,407,553 \$ 9,197,152 \$ 8,226,561 \$ 7,438,430 \$ 6,790,509									
Replacement Cost (sq.m):					\$ 9,000 (75 Year life for replacement)					Total/75 years: \$ 185,216 \$ 159,150 \$ 138,767 \$ 122,629 \$ 109,687 \$ 99,179 \$ 90,540									
Major Rehab Cost (sq.m):					\$ 3,600 (Year 50 from construction)														
Minor Rehab Cost (sq.m):					\$ 1,800 (Year 25 from construction)														

Table 2: Unit Costs for Large Structures (Deck Area > 150m ²)									
Replacement Cost (sq.m):					\$ 6,500 (75 Year life for replacement)				
Major Rehab Cost (sq.m):					\$ 2,600 (Year 50 from construction)				
Minor Rehab Cost (sq.m):					\$ 1,300 (Year 25 from construction)				

Friday, December 2nd, 2022

Received December 8, 2022
C-2022-231

Mayor Grant,
Wainfleet Township, Office of the Mayor,
31940 Highway #3 P.O. Box 40,
Wainfleet, Ontario, L0S 1V0

Dear Mayor Grant,

I am writing on behalf of the board of Crime Stoppers of Niagara to request the Wainfleet Township prepare a proclamation or letter of acknowledgement to recognize January 2023 as Crime Stoppers Month. This is in addition to our traditional flag raising event and will be used to promote Crime Stoppers Month throughout the community.

January has been endorsed around the world as Crime Stoppers Month since 1986 and provides the opportunity for all Crime Stoppers programs to highlight their success.

Crime Stoppers of Niagara has been extremely effective since 1985 in helping the Niagara Regional Police Service solve crimes and working with various organizations to make communities safer for residents of the Niagara Region.

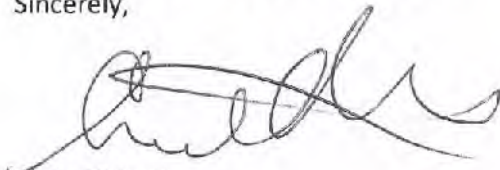
Apart from taking tips on unsolved crimes, Crime Stoppers of Niagara has worked to increase the awareness of concerns in the region, including illegal dumping, elder abuse, improving the safety and security of students, guarding against human trafficking and combating illegal drugs.

The concept of Crime Stoppers was originated by a detective in Albuquerque, New Mexico in 1976 and today there are more than 1,000 programs operating in countries worldwide.

Of significance this year, Crime Stoppers of Niagara is working toward being a key organization for reporting elder abuse and delivering awareness and capacity building by establishing strong partnerships with agencies that work with older adults in the Niagara Region. We have also implemented an elder abuse program under provincial and federal grants to move forward in creating safer communities for our older adults.

We would greatly appreciate if this recognition could be presented in your office or another convenient location sometime in December or January to give local media the opportunity to promote Crime Stoppers Month. Should you have any questions or require further information, please contact Crime Stoppers of Niagara at 905-938-5463.

Sincerely,



Ernie Sibbett
Chair, Crime Stoppers of Niagara

November 24, 2022

Township of Wainfleet
31940 Highway #3
P.O. Box 40
Wainfleet, ON L0S 1V0

Attention: William Kolasa, Chief Administrative Officer

Dear William:

The District School Board of Niagara and Niagara Catholic District School Board are appreciative of the ongoing support from the Township of Wainfleet as we work collaboratively to build a new elementary school in the Township.

As we progress through the phases of construction, student safety is a paramount priority. To accommodate the construction project taking place on the existing site of St. Elizabeth Catholic Elementary School, we respectfully request consideration from the Township to temporarily allow use of a portion of Township land for student recess and outdoor activities for the duration of the current construction project.

We anticipate that the area outlined and shaded in yellow on the attached drawing (Appendix A) will be needed starting in December 2022 and until such time that the construction is complete, and the school property is safe for student activity, anticipated to be the end of June, 2024.

During use of the proposed area, the school board construction project manager will ensure that the:

- temporary fencing is installed around the student use area;
- fencing will be removed during July and August as well as other times at the request of the Township if the area is needed for Township events and replaced as needed upon conclusion of those events;
- fencing and enclosed area are maintained and repaired as needed; and the
- property is returned to its current state upon concluding use of the area.

We thank you for considering our request and your ongoing support and look forward to your response.

Regards,



Stacy Veld
Superintendent of Business Services
and Treasurer
District School Board of Niagara



Clark Euale
Controller of Facilities Services
Niagara Catholic District School Board

Appendix A

St. Elizabeth Catholic Elementary School and Surrounding Property



THE CORPORATION OF THE
TOWNSHIP OF WAINFLEET
BY-LAW NO. 047-2022

Being a by-law to authorize borrowing from time to time
to meet current expenditures during the fiscal year
ending December 31, 2023.

WHEREAS Section 407 of the Municipal Act, S.O. 2001 c.25, provides authority for a Council by By-law to authorize the Municipality to borrow from time to time, by way of promissory note or bankers' acceptance, such sums as the Council considers necessary to meet, until taxes are collected and other revenues are received, the current expenditure of the Corporation for the year;

AND WHEREAS the total amount which may be borrowed from all sources at any one time to meet the current expenditures of the Corporation, shall not exceed, except with the approval of the Local Planning Appeal Tribunal, the limitations set out in Section 407(2) of the Municipal Act;

NOW THEREFORE, Council of the Corporation of the Township of Wainfleet
HEREBY ENACTS AS FOLLOWS:

1. **Borrowing Authority**

The Head of Council and the Treasurer are hereby authorized on behalf of the Municipality to borrow from time to time by way of promissory note or bankers' acceptance during the year 2023 (hereinafter referred to as the current year) such sums as may be necessary to meet, until the taxes are collected and until other revenues are received, the current expenditures of the Corporation for the purposes set out in Section 407(1).

2. **Instruments**

A promissory note or bankers' acceptance made under Section 1 shall be signed by the Head of Council and the Treasurer.

3. **Lenders**

The Lenders from whom amounts may be borrowed under authority of this By-law shall be the **MERIDIAN CREDIT UNION LIMITED**. And such other lender(s) of the Municipality as may be determined from time to time by by-law of Council.

4. **Limit on Borrowing**

The total amount which may be borrowed at any one time under this By-law, together with the total of any similar borrowings that have not been repaid, shall not exceed, from January 1st until September 30th of the current year, 50 percent of the estimated revenues of the Corporation as set forth in the estimates adopted for that year. Such borrowing shall not exceed, from October 1st to December 31st of the current year, 25 percent of the said estimated revenues of the Corporation as set forth in the estimates adopted for that year. For purposes of this By-law, the estimated revenues of the Corporation shall not include revenues derivable or derived from:

- a) Borrowing through any issue of debentures,
- b) A surplus, including arrears of taxes, fees or charges,
- c) A transfer from the capital fund, reserve funds or reserves.

5. **Borrowing Documents Required**
The Treasurer shall, at the time when any amount is borrowed under this By-law, ensure that the lender is or has been furnished with
 - a) A certified copy of this By-law,
 - b) A certified copy of the estimates of the Corporation adopted for the current year.
6. **When Estimates Not Adopted**
If the estimates for the current year have not been adopted at the time an amount is borrowed under this By-law.
 - a) The limitation on total borrowing, as set out in Section 4, shall be calculated for the time being upon the estimated revenues of the Corporation as set forth in the estimates adopted for the next preceding year, and
 - b) The certified copy furnished under Section 5 shall show the nature and amount of the estimated revenues of the Corporation as set forth in the estimates adopted for the next preceding year.
7. **Charge on Revenue**
All or any sums borrowed under this By-law shall, with interest thereon, be a charge upon the whole of the revenues of the Corporation for the current year and for any preceding years as and when such revenues are received but such charge does not defeat or affect and is subject to any prior charge then subsisting in favour of any lender.
8. **Directive to Treasurer**
The Treasurer is hereby authorized and directed to apply in payment of all or any sums borrowed under this By-law, together with interest thereon, all or any of the money hereafter collected or received, either on account of or realized in respect of, the taxes levied for the current year and preceding years or from any other source, which may lawfully be applied for such purpose.
9. **Additional Documents**
That the Head of Council and the Treasurer are authorized to execute such additional documents as may be required by the lending authority to evidence the indebtedness.
10. **Effective Date**
This By-law shall come into force as of the 1st day of January, 2023.

BY-LAW READ AND PASSED THIS 13th DAY OF DECEMBER, 2022.

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK

THE CORPORATION OF THE TOWNSHIP OF WAINFLEET

BY-LAW NO. 048-2022

Being a by-law to provide for interim tax levies
for the year 2023 for the Township of
Wainfleet.

WHEREAS section of the *Municipal Act*, S.O. 2001, c. 25, as amended, provides that the council of a local municipality, before the adoption of estimates for the year under Section 290, may pass a by-law levying amounts on the assessment of property in the local municipality rateable for local municipality purposes;

AND WHEREAS the Council of this municipality deems it appropriate to provide for such interim levy on the assessment of property in this municipality;

NOW THEREFORE the Council of the Corporation of the Township of Wainfleet
HEREBY ENACTS AS FOLLOWS:

1. The amounts levied shall be as follows:

1.1. For the Residential, Pipeline, Farmland and Managed Forest property classes there shall be imposed and collected an interim levy of:

(a) the percentage prescribed by the Minister under section 317(10) of the *Municipal Act*; or,

(b) 50%, if no percentage is prescribed,

of the total taxes for municipal and school purposes levied on in the year 2022.

1.2. For the Multi-Residential, Commercial and Industrial property classes there shall be imposed and collected an interim levy of:

(c) the percentage prescribed by the Minister under section 317(10) of the *Municipal Act*; or,

(d) 50% if no percentage is prescribed,

of the total taxes for municipal and school purposes levied on in the year 2022.

2. All taxes levied under this by-law shall be payable into the hands of the Collector in accordance with the provisions of this by-law.

3. There shall be imposed on all taxes a penalty for non-payment or late payment of taxes in default of the installment dates set out below. The penalty shall be one and one-quarter percent (1¼%) of the amount in default on the first day of default and on the first day of each calendar month during which the default continues.

4. The interim tax levy imposed by this by-law shall be paid in two installments due on the following dates:
 - 4.1. One-half (1/2) thereof on the 28th day of February of 2023.
 - 4.2. One-half (1/2) thereof on the 28th day of April of 2023.
5. The Collector may mail or cause to be mailed to the address of the residence or place of business of each person taxed under this by-law, a notice specifying the amount of taxes payable.
6. The notice to be mailed under this by-law shall contain the particulars provided for in this by-law and the information required to be entered in the Collector's roll under section 340 of the *Municipal Act*.
7. The subsequent levy for the year 2023 to be made under the *Municipal Act* shall be reduced by the amount to be raised by the levy imposed by this by-law.
8. The provisions of s.317 of the *Municipal Act*, as amended apply to this by-law with necessary modifications.
9. The Collector shall be authorized to accept part payment from time to time on account of any taxes due, and to give a receipt of such part payment, provided that acceptance of any such part payment shall not affect the collection of any percentage charge imposed and collectable under section 5 of this by-law in respect of non-payment or late payment of any taxes or any installment of taxes.
10. Nothing in this by-law shall prevent the Collector from proceeding at any time with the collection of any tax, or any part thereof, in accordance with the provisions of the statutes and by-laws governing the collection of taxes.
11. In the event of any conflict between the provisions of this by-law and any other by-law, the provisions of this by-law shall prevail.
12. This By-law shall come into force as of the 1st day of January, 2023.

BY-LAW READ AND PASSED THIS 13th DAY OF DECEMBER, 2022.

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK

THE CORPORATION OF THE TOWNSHIP OF WAINFLEET

BY-LAW NO. 049-2022

Being a by-law to adopt, ratify and confirm the proceedings of the Council of the Corporation of the Township of Wainfleet at its regular meeting held December 13, 2022.

WHEREAS Subsection 5 (1) of the *Municipal Act, 2001*, S.O. 2001, Chapter M.25, as amended, provides that the powers of a municipal corporation are to be exercised by its Council;

AND WHEREAS section 5 (3) of the *Municipal Act 2001*, S.O. 2001, Chapter M.25, as amended, provides that, except if otherwise authorized, the powers of Council shall be exercised by by-law;

AND WHEREAS it is deemed desirable and expedient that the actions of the Council as herein set forth be adopted, ratified and confirmed by by-law;

NOW THEREFORE the Council of the Corporation of the Township of Wainfleet **HEREBY ENACTS AS FOLLOWS:**

1. (a) The actions of the Council at its regular meeting held December 13, 2022, including all resolutions or motions approved, are hereby adopted, ratified and confirmed as if they were expressly embodied in this by-law.

(b) The above-mentioned actions shall not include:
 - (i) any actions required by law to be taken by resolution, or
 - (ii) any actions for which prior Ontario Municipal Board approval is required, until such approval is obtained.
2. The Mayor and proper officials of the Corporation of the Township of Wainfleet are hereby authorized and directed to do all things necessary to give effect to the above-mentioned actions and to obtain approvals where required.
3. Unless otherwise provided, the Mayor and Clerk are hereby authorized and directed to execute and the Clerk to affix the seal of the corporation of the Township of Wainfleet to all documents necessary to give effect to the above-mentioned actions.
4. This by-law shall come into force on the day upon which it is passed.

BY-LAW READ AND PASSED THIS 13TH DAY OF DECEMBER, 2022

B. Grant, MAYOR

M. Kirkham, DEPUTY CLERK